

HORRY GEORGETOWN TECHNICAL COLLEGE HGTC GEORGETOWN - COURTYARD RENOVATION

State Project Number: H59-N055-CB Liollo Project Number: 19701

4003 S Fraser St
Georgetown, SC 29440



147 Wappoo Creek Drive
Suite 400
Charleston, SC 29412
T: 843.762.2222

CONSTRUCTION DOCUMENTS

08/14/2020



HGTC
OWNER
2050 Highway 501 East
Conway, SC 29526
Dianna Cecala
dianna.cecala@hgtc.edu
843.349.5207



Liollo Architecture, Inc.
ARCHITECT
147 Wappoo Creek Drive, Suite 400
Charleston, SC 29412
Andy Clark, AIA
andy@liollo.com
Elissa Bostain, AIA
elissa@liollo.com
David Herrero, Assoc. AIA
davidh@liollo.com
Tel: 843.762.2222



DRG, LLC
CIVIL
1101 Johnson Ave. Suite 300 A
Myrtle Beach, SC 29577
John Poston, PE, PLS
john@drgpllc.com
Tel: 843.839.3350



TruDesign Studio
LANDSCAPE
PO Box 3252
Murrells Inlet, SC 29576
Nick Peters
npeters@trudesignla.com
Tel: 843.855.1154

DRAWING INDEX

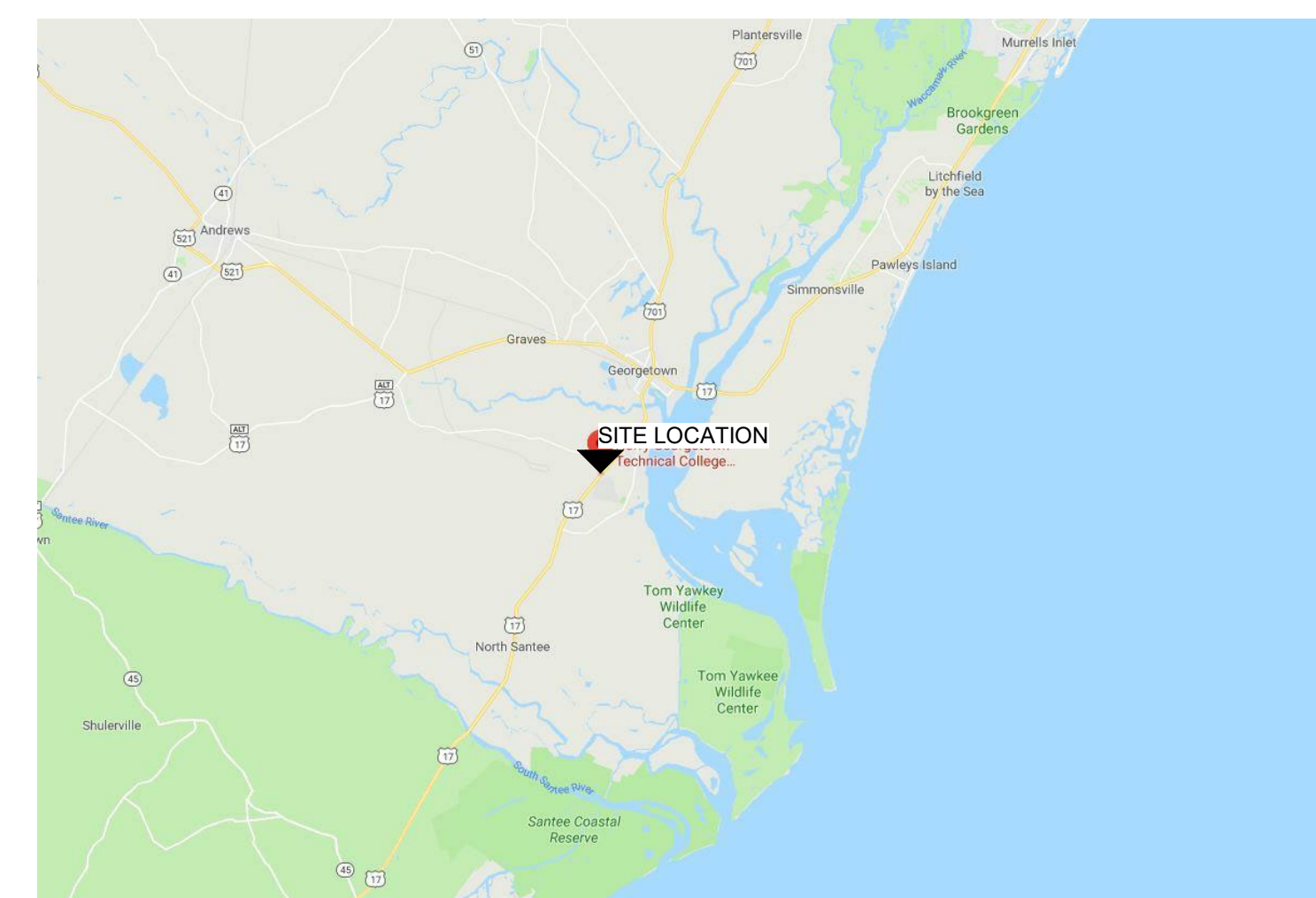
GENERAL	
G000	COVER SHEET
G001	SURVEY
G002	CODE REVIEW
G101	LIFE SAFETY PLAN
G102	LIFE SAFETY PHASING PLANS

CIVIL	
C101	COVER SHEET
C102	GENERAL NOTES
C103	EXISTING CONDITIONS
C104	EROSION & SEDIMENT CONTROL
C105	DEMOLITION
C106	SITE PLAN
C107	GRADING & DRAINAGE
C108	DETAILS

LANDSCAPE	
AS101	SITE PLAN
AS102	SITE DETAILS
AS103	LANDSCAPE LIGHTING PLAN
L100	LANDSCAPE DEMO & TREE PROTECTION PLAN
L101	LANDSCAPE PLAN
L102	IRRIGATION PLAN
L103	LANDSCAPE/IRRIGATION DETAILS

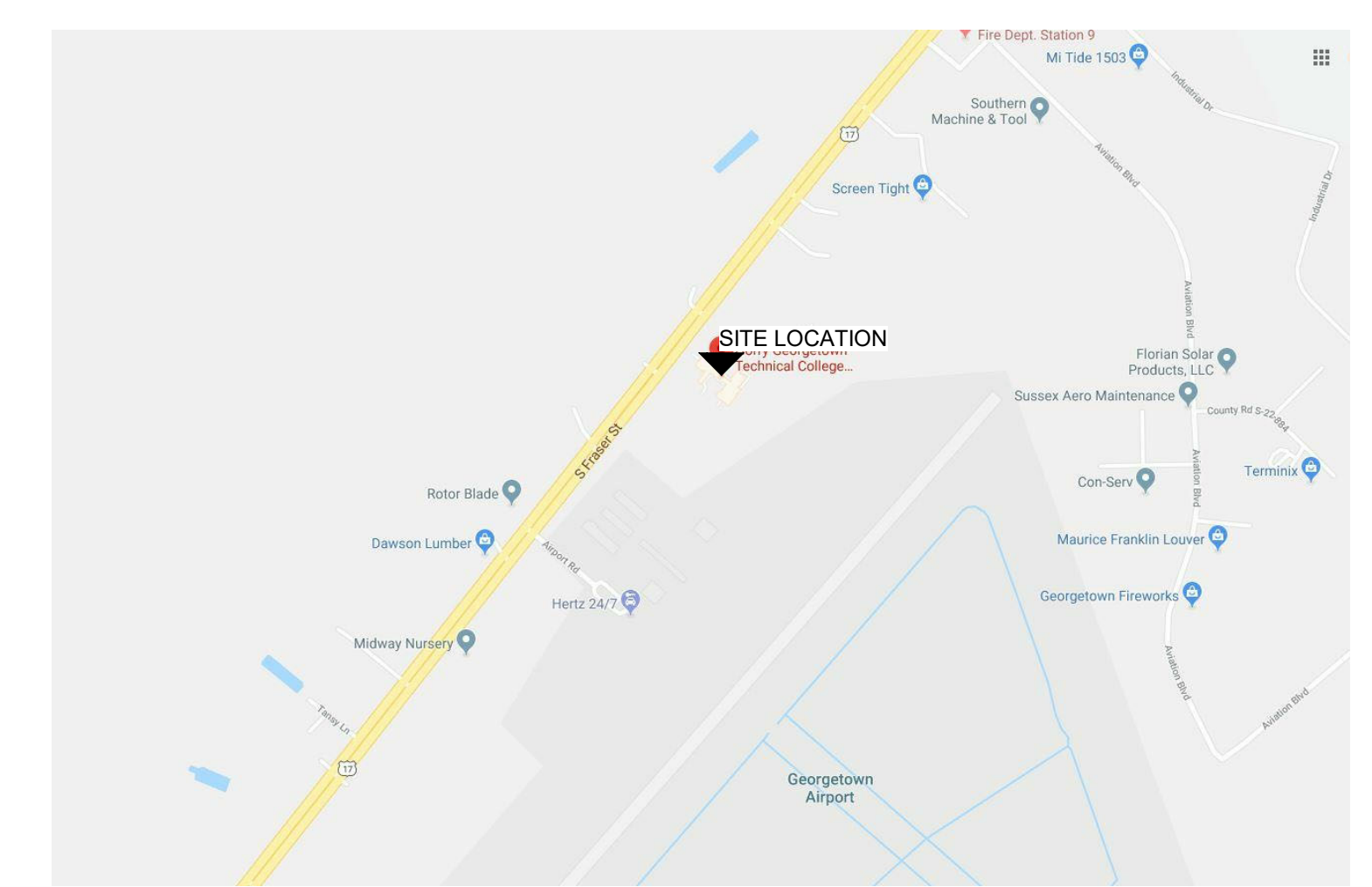


IMAGE FOR REFERENCE ONLY



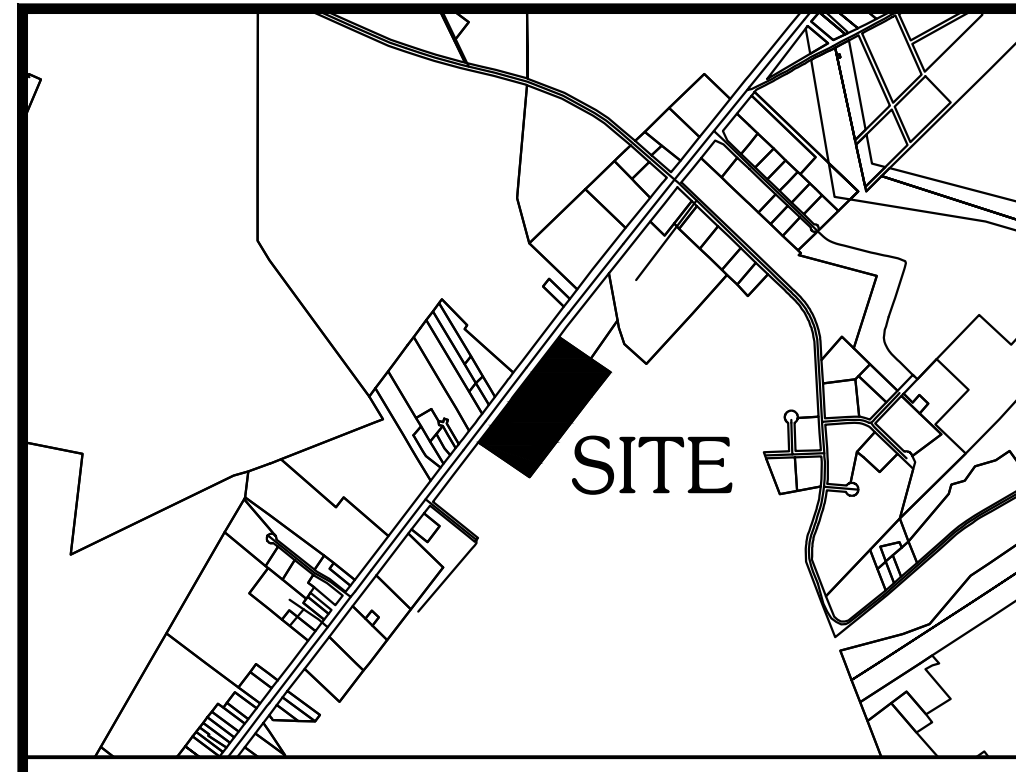
REGION MAP

NTS



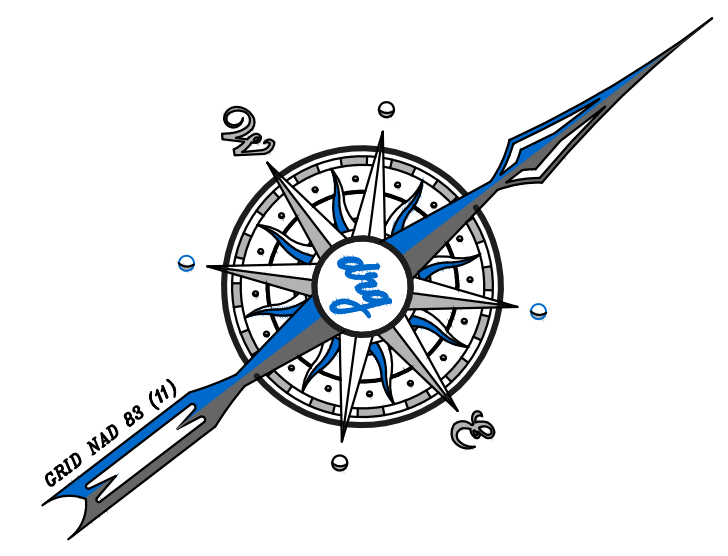
SITE MAP

NTS



NOTES:

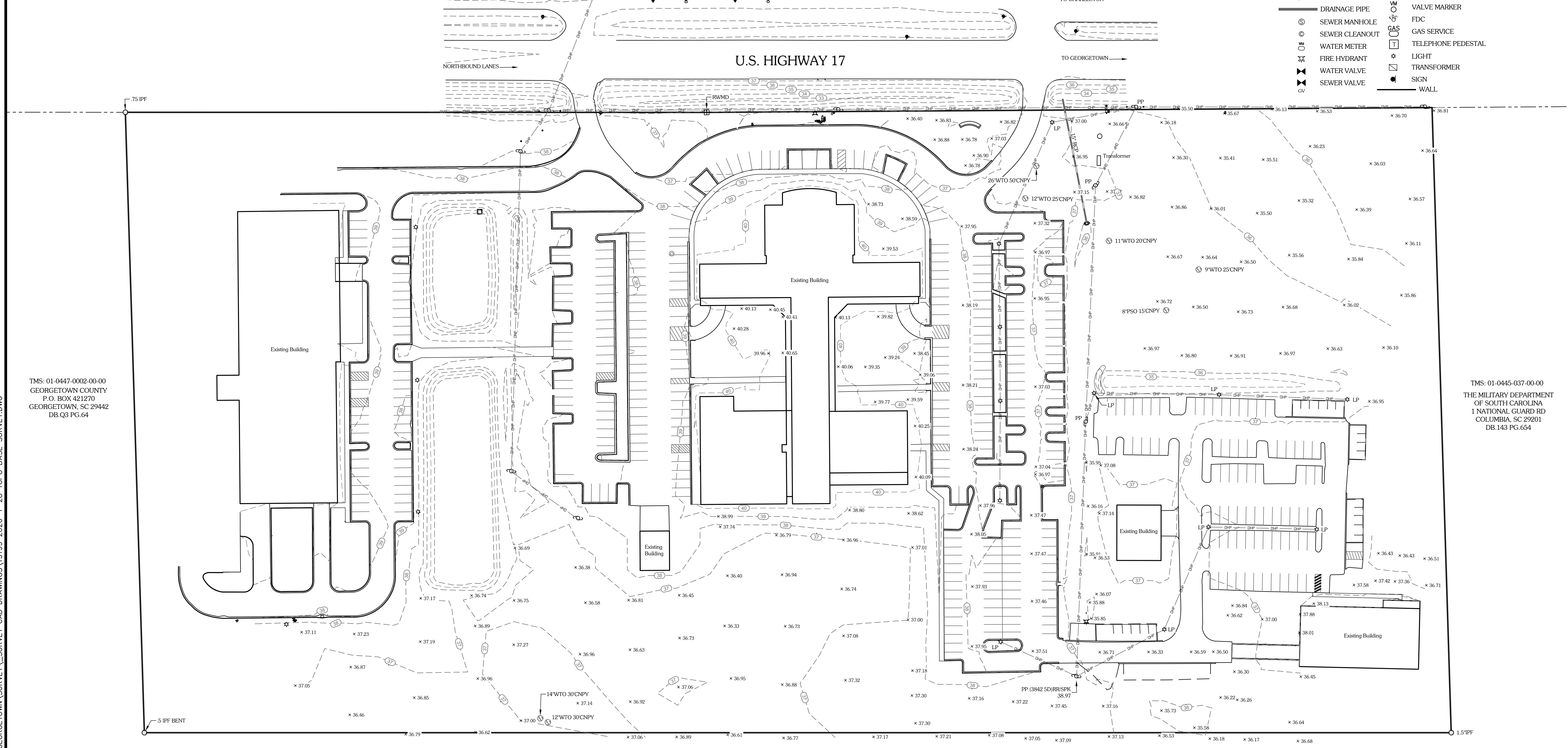
1. Tax Parcel: TMS: 01-0445-036-00-00
2. Owner of Record: Horry Georgetown Commission
4003 South Fraser Street
Georgetown, SC 29440
3. This property is located in Flood Zone "X" as scaled from F.I.R.M. 45051C XXX H dated Aug. 23, 1999, this plat is not the basis for flood zone determination or flood zone related issues.
4. Declaration is made to original purchaser of the survey. It is not transferable to additional institutions or subsequent owners.
5. This survey is only valid if print of same has original signature and embossed seal of the surveyor.
6. Surveyor has made no investigation or independent search for encumbrances of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that an accurate and current title search may disclose.
7. Subsurface and environmental conditions were not examined or considered as a part of this survey, no statement is made concerning the existence of underground or overhead containers or facilities that may affect the use or development of this tract.
8. This property is subject to all easements or restrictions of record.
9. Last property transfer Deed Book XXX, Page XXXX.
10. 1/2" Iron Pipes Set at all corners unless noted otherwise.
11. All Bearings are based upon the South Carolina State Plane Coordinate System (NAD83)(2011). All distances shown are Horizontal not grid distances.
12. Date of Field Survey: January, 2020



LEGEND

- IRON PIPE FOUND
- IRON PIPE SET
- DRAINAGE PIPE
- ⊙ SEWER MANHOLE
- ⊙ SEWER CLEANOUT
- ⊙ WATER METER
- ⊙ FIRE HYDRANT
- ⊙ WATER VALVE
- ⊙ SEWER VALVE
- ⊙ GAS VALVE
- ⊙ DIRECTORY
- ⊙ VALVE MARKER
- ⊙ FDC
- ⊙ GAS SERVICE
- ⊙ TELEPHONE PEDESTAL
- ⊙ LIGHT
- ⊙ TRANSFORMER
- ⊙ SIGN
- ⊙ WALL
- OVERHEAD POWER
- ⊙ GUY WIRE

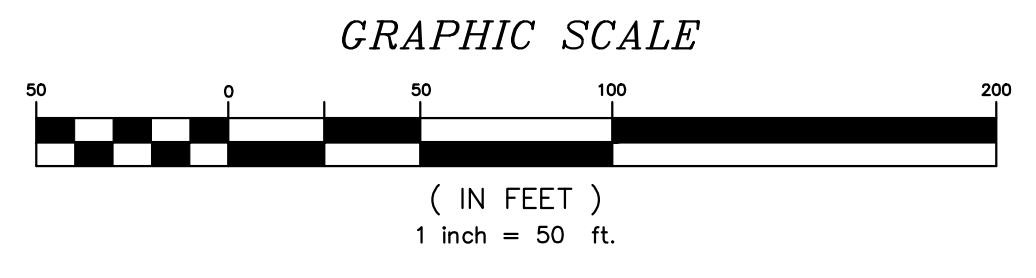
~VICINITY MAP N.T.S.~



TMS: 01-0447-0002-00-00
GEORGETOWN COUNTY
P.O. BOX 421270
GEORGETOWN, SC 29442
DB.Q3 PG.64

TMS: 01-0445-037-00-00
THE MILITARY DEPARTMENT
OF SOUTH CAROLINA
1 NATIONAL GUARD RD
COLUMBIA, SC 29201
DB.143 PG.64

TMS: 01-0447-0002-00-00
GEORGETOWN COUNTY
P.O. BOX 421270
GEORGETOWN, SC 29442
DB.Q3 PG.64



SPACE RESERVED FOR PLANNING APPROVAL ONLY

"I hereby state that to the best of my professional knowledge, information, and belief, the survey shown hereon was made in accordance with the requirements of the Standards of Practice Manual for Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein; also there are no visible encroachments or projections other than shown."

NON RECORDABLE SURVEY

Michael D. Oliver, P.L.S. No. 13520
Vice President

Development Resource Group, LLC
1101 Johnson Avenue
Suite 300A
Myrtle Beach, SC 29577
Telephone: 843-839-3350
www.drgpllc.com

JOB NO.	
DATE:	
DRAWN BY: D.M.P.	
CHECKED BY: M.D.O.	
SCALE: 1" =	
FILE:	

TOPOGRAPHIC SURVEY
PORTIONS OF Horry Georgetown Technical College
TMS: 01-0445-036-00-00
MYRTLE BEACH, Horry COUNTY, SOUTH CAROLINA
PREPARED FOR:
Horry Georgetown Commission



DATE	
REVISION	
No.	

DWG NAME: P:\19199 - LULLIO - HGTC GEORGETOWN\SURVEY\CAD DRAWINGS\19199 2020-1-28 TOPO BASE SURVEY.DWG

NOTE: Where a fire wall is necessary to separate buildings, each building is to be provided individual code criteria tables 3 through 14. See IBC 503.1.2.

TABLE 3 BASIC BUILDING CODE INFORMATION. Table with columns for CONSTRUCTION CLASSIFICATION, OCCUPANCY CLASSIFICATION, MOST RESTRICTIVE OCCUPANCY CLASSIFICATION, and various code requirements like 'Does building require incidental use area separation?'.

OTHER FIRE PROTECTION SYSTEMS, DEVICES or FEATURES. If the building has any special or notable fire protection or safety feature or hazard the designers should list them here...

*Based on analysis of limited as-built drawings provided by the owner and non-destructive site observations, the existing building appears to be most consistent with IBC 2018 requirements for Type II-B construction including non-combustible walls (CMU with masonry veneer exterior and CMU/metal stud interior)...

**The occupancy type for the area of work is Group B. Separation (if any) between areas is not verified as part of this renovation, as the occupancy type is not altered under this scope of work.

TABLE 4 BUILDING AREA. Table with columns for AREA LIMIT BY TABLE 506.2 OF IBC, AREA INCREASES BY SECTION 506.2 AND 506.3 OF IBC, AREA AS ALLOWED IN IBC PER STORY, TOTAL ALLOWED AREA OF BUILDING, AREA AS DESIGNED PER STORY, and TOTAL DESIGNED AREA OF BUILDING.

*Scope of work does not include any revisions to the existing building area

TABLE 6 BUILDING DESIGN OCCUPANT LOAD. Table with columns for STORY/LEVEL, FUNCTION OF SPACE, FLOOR AREA, MAX AREA ALLOWED PER OCCUPANT, OCCUPANTS ON FLOOR FOR THIS FUNCTION, and DESIGN OCCUPANT LOAD.

*Existing building use, occupancy group and occupant load is unchanged by the scope of work.

TABLE 7 GENERAL FIRE PROTECTION REQUIREMENTS. Table with columns for SEPARATIONS, ALARM & DETECTION, and SUPPRESSION, listing various fire safety requirements and their status.

*All walls are existing to remain. Table 7 is completed as reference only should any new walls be required during construction. Scope of work is limited to exterior renovation. There are no new walls as part of this scope of work.

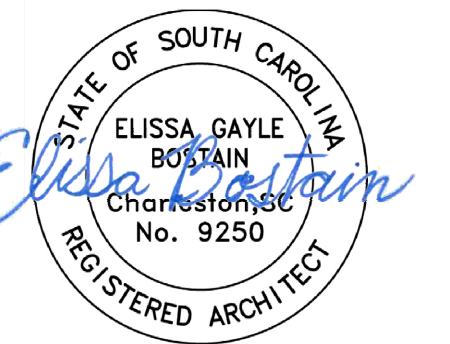
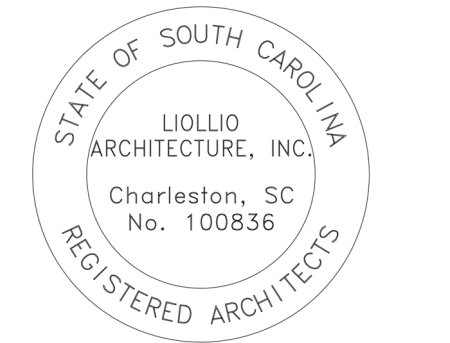
TABLE 8 FIRE RESISTANCE RATING OF BUILDING ELEMENTS. Table with columns for BUILDING ELEMENT, RATING AS REQUIRED, RATING AS DESIGNED, TESTING AGENCY & DESIGN NO., and DESIGNERS WALL/PARTITION KEY CODE.

*Assuming interpretation of existing construction is not compatible with IBC 2018, Type II-B
**Existing conditions, not included as part of scope of work.



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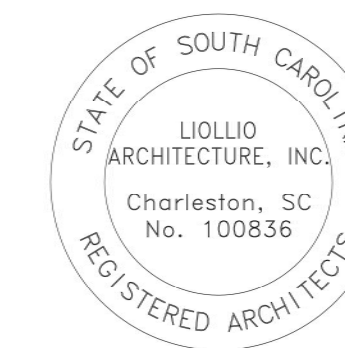
Revision Date Description

HORRY GEORGETOWN TECHNICAL COLLEGE
HGTC GEORGETOWN - BLDG 100 EXTERIOR RENOVATIONS

4003 S Fraser St
Georgetown, SC 29440

State Project Number: H59-N055-CB
Project Number: 19701
Checked By: EGB
Drawn By: DFH
Date: 08/14/2020
Scale:

G002
CODE REVIEW



Elisha Bostain
Elisha Bostain
Charleston, SC

SHEET NOTES

CODE NOTES:

CONTRACTOR TO COMPLY WITH 2018 INTERNATIONAL EXISTING BUILDING CODE (WITH SC MODIFICATIONS) AND ALL APPLICABLE CODES AND ORDINANCES AS REQUIRED BY THE COUNTY AND THE SC BUILDING CODES COUNCIL.

PER IEBC 2018 SECTION 602.1 THIS SCOPE OF WORK IS CATEGORIZED AS A LEVEL 1 ALTERATION.

SEE SHEETS G002-G003 FOR ADDITIONAL CODE INFORMATION

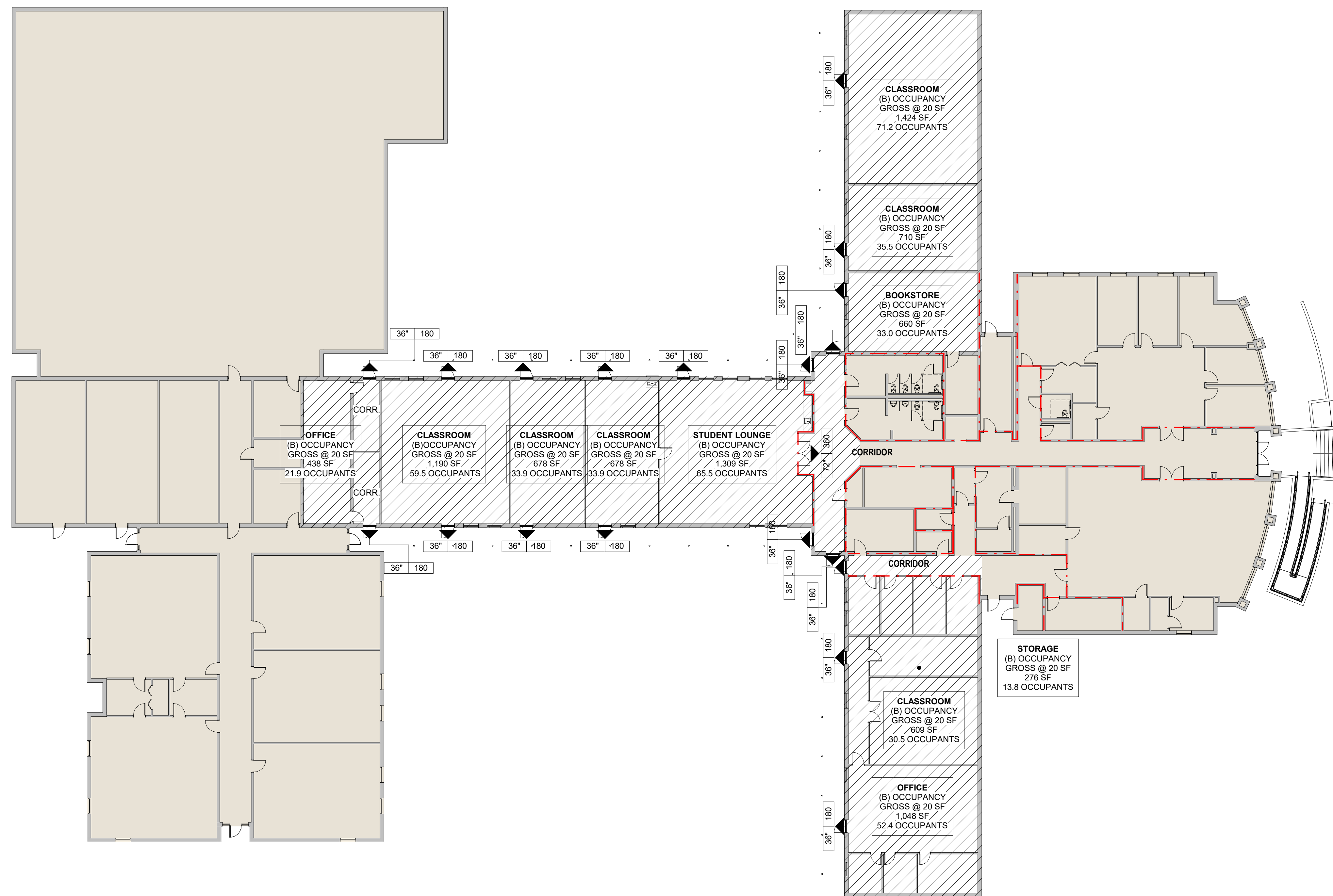
EXISTING EGRESS AND CIRCULATION ARE NOT REVISED AS PART OF THIS SCOPE OF WORK. CORRIDOR WALL RATINGS ARE ASSUMED TO BE 1 HOUR FIRE RATED PARTITIONS AS NOTED.

GC SHALL VERIFY EXISTING CONDITIONS AND NOTIFY DESIGNER IMMEDIATELY IF ANY DISCREPANCIES ARE IDENTIFIED.

SCOPE OF WORK IS LIMITED TO EXTERIOR OF EXISTING FACILITY. AREA NOT IN SCOPE HAS NOT BEEN VERIFIED. BUILDING OCCUPANCY IS NOT ALTERED IN THIS SCOPE OF WORK.

LIFE SAFETY PLAN LEGEND

SYMBOLS	# OCC.	EGRESS OCCUPANT LOAD
	▲	
	ROOM NAME (TYPE) OCCUPANCY OCC LOAD FACTOR XX SF # OCC	ROOM NAME, OCCUPANCY, LOAD FACTOR, SF, AND OCCUPANT LOAD
	36" 180	DOOR LEAF SIZE, MAXIMUM OCCUPANT LOAD CAPACITY
	---	EXISTING WALL ASSUMED TO BE 1-HOUR RATED PARTITION
OCCUPANCY TYPES	▨	EDUCATIONAL (E)
	■	NOT IN CONTRACT (N.I.C.)



Revision	Date	Description
1	02/16/2021	OSE COMMENTS

HORRY GEORGETOWN
TECHNICAL COLLEGE
HGTC GEORGETOWN - COURTYARD
RENOVATION

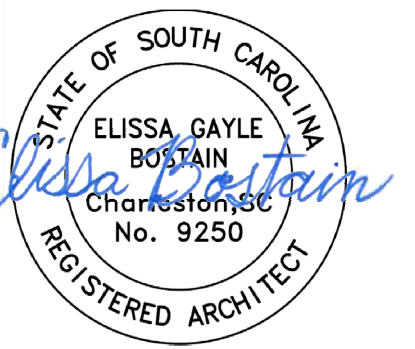
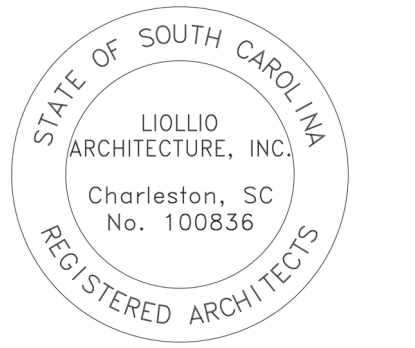
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Date:	08/14/2020
Scale:	As indicated





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GENERAL NOTES - LIFE SAFETY PHASING PLAN

GENERAL NOTES:

SUBMITTAL REQUIRED: GC TO SUBMIT PHASING PLAN, FOR OWNER AND DESIGN TEAM REVIEW, PRIOR TO ANY DEMOLITION WORK.

GC TO MAINTAIN CLEAR EGRESS PATH AND COLLEGE OPERATIONS DURING CONSTRUCTION WHEN BUILDING AND CLASSROOMS ARE OCCUPIED. GC TO REFER TO REQUIREMENTS IN SPECIFICATION SECTION 01100 SUMMARY FOR REQUIREMENTS TO COORDINATE CONSTRUCTION WITH OCCUPANTS.

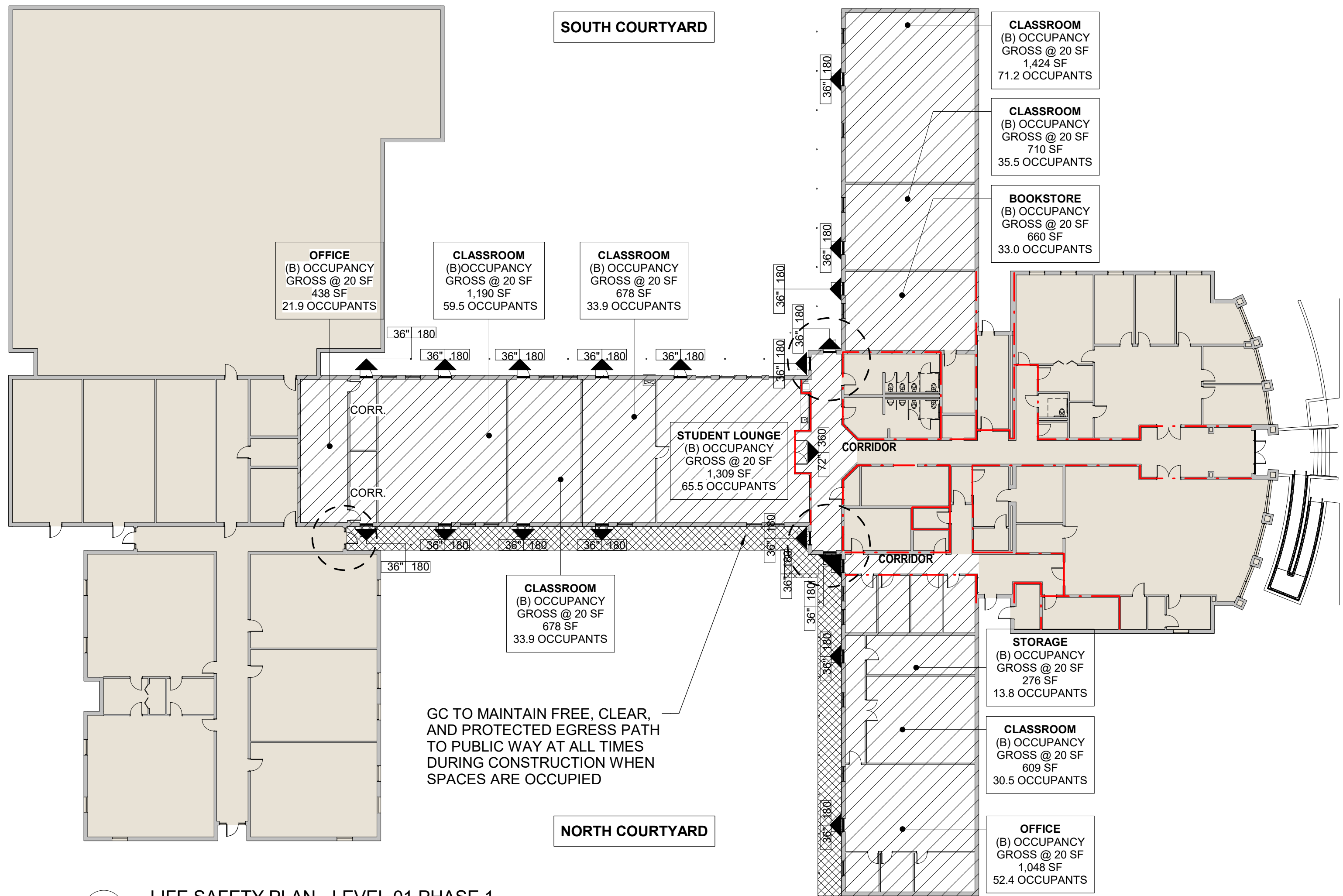
CLASSROOMS AND SPACES WITH MORE THAN 49 OCCUPANTS REQUIRE TWO EXITS. IF ONE EXIT IS BLOCKED OFF DURING CONSTRUCTION, GC TO INSTALL A TEMPORARY POSTED OCCUPANCY SIGN OF MAXIMUM 49 OCCUPANTS. CORRIDOR DOORS (CIRCLED IN DASHED LINES) FROM ADJACENT SPACES TO HAVE FREE EGRESS TO PUBLIC WAY THROUGHOUT CONSTRUCTION AT ALL TIMES.

PHASE 1

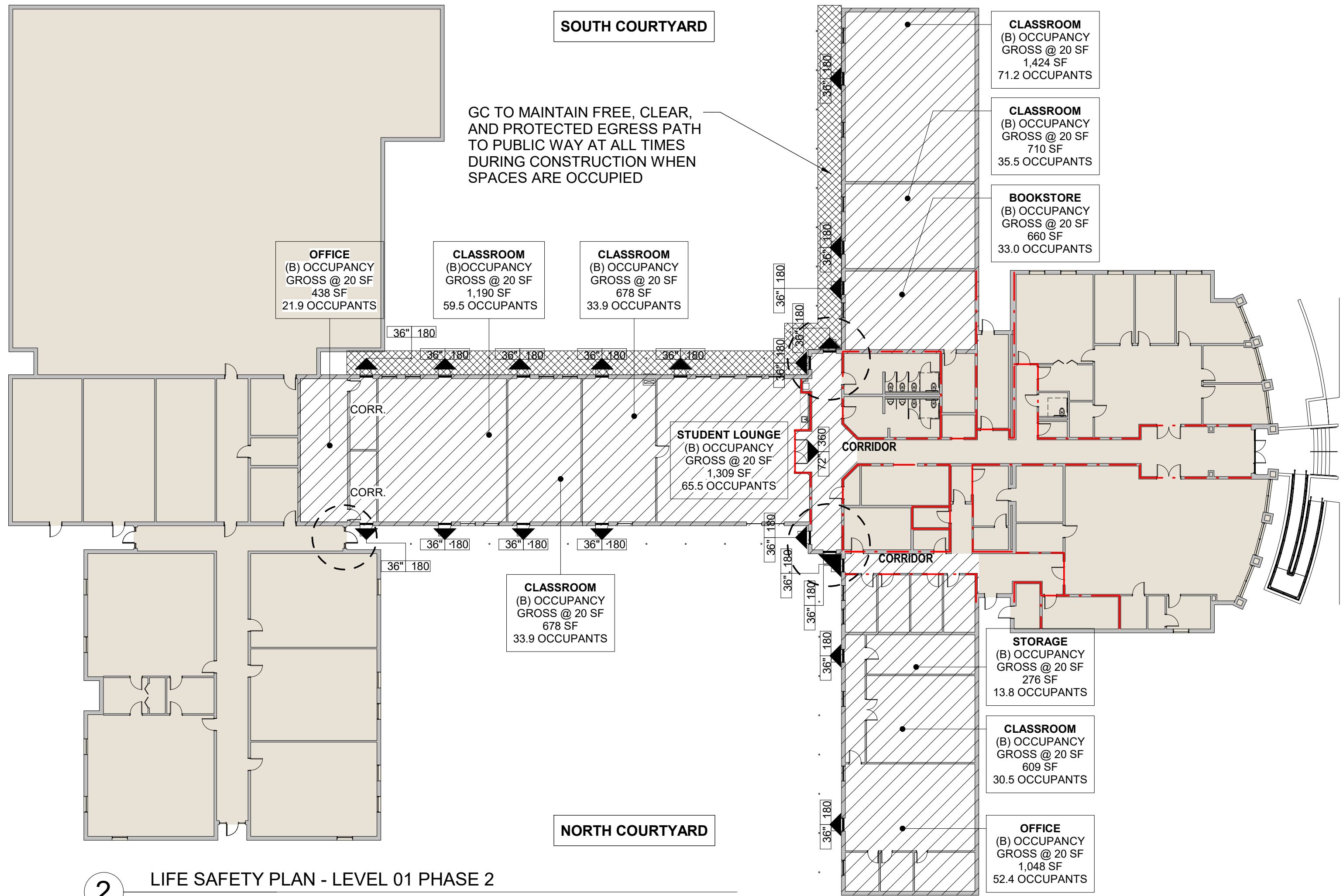
THIS PHASE INCLUDES NORTH PLAZA DEMOLITION AND CONSTRUCTION; NO WORK IN SOUTH COURTYARD. ALL DOORS IN SOUTH COURTYARD TO REMAIN OPEN WITH FREE EGRESS TO PUBLIC WAY DURING THIS PHASE. ALL DOORS IN NORTH COURTYARD TO REMAIN OPEN WITH FREE EGRESS TO PUBLIC WAY DURING THIS PHASE (AREA SHOWN IN CROSS HATCH ON ADJACENT PLAN); GC TO COORDINATE WORK IN CROSS HATCH AREA WITH OWNER TO COORDINATE SWING SPACE.

PHASE 2

THIS SCOPE INCLUDES SOUTH PLAZA DEMOLITION AND CONSTRUCTION; NO WORK IN NORTH COURTYARD. ALL DOORS IN NORTH COURTYARD TO REMAIN OPEN WITH FREE EGRESS TO PUBLIC WAY DURING THIS PHASE. ALL DOORS IN SOUTH COURTYARD TO REMAIN OPEN WITH FREE EGRESS TO PUBLIC WAY DURING THIS PHASE (AREA SHOWN IN CROSS HATCH ON ADJACENT PLAN); GC TO COORDINATE WORK IN CROSS HATCH AREA WITH OWNER TO COORDINATE SWING SPACE.



1 LIFE SAFETY PLAN - LEVEL 01 PHASE 1
SCALE: 3/64" = 1'-0"



2 LIFE SAFETY PLAN - LEVEL 01 PHASE 2
SCALE: 3/64" = 1'-0"

Revision	Date	Description
1	02/16/2021	OSE COMMENTS

HORRY GEORGETOWN TECHNICAL COLLEGE
HGTC GEORGETOWN - COURTYARD RENOVATION

4003 S Fraser St
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Drawn By:	EGM
Date:	08/14/2020
Scale:	

G102 LIFE SAFETY PHASING PLANS

HGTC STUDENT PLAZA

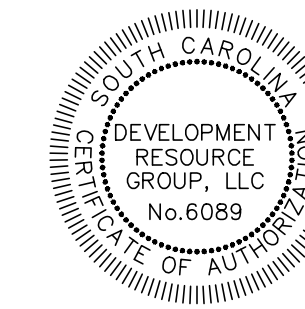
FOR

HORRY GEORGETOWN TECHNICAL COLLEGE



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architecture

DEVELOPMENT RESOURCE GROUP, LLC
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NPETERS@TRUDESIGNLA.COM

PROJECT SUMMARY

HORIZONTAL DATUM : NAD 83
VERTICAL DATUM : NAVD 88
BENCHMARK : SEE SHEET C103 (1/2" IRON ALONG R/W, PK IN PAVEMENT)
NPDES PERMIT : XX

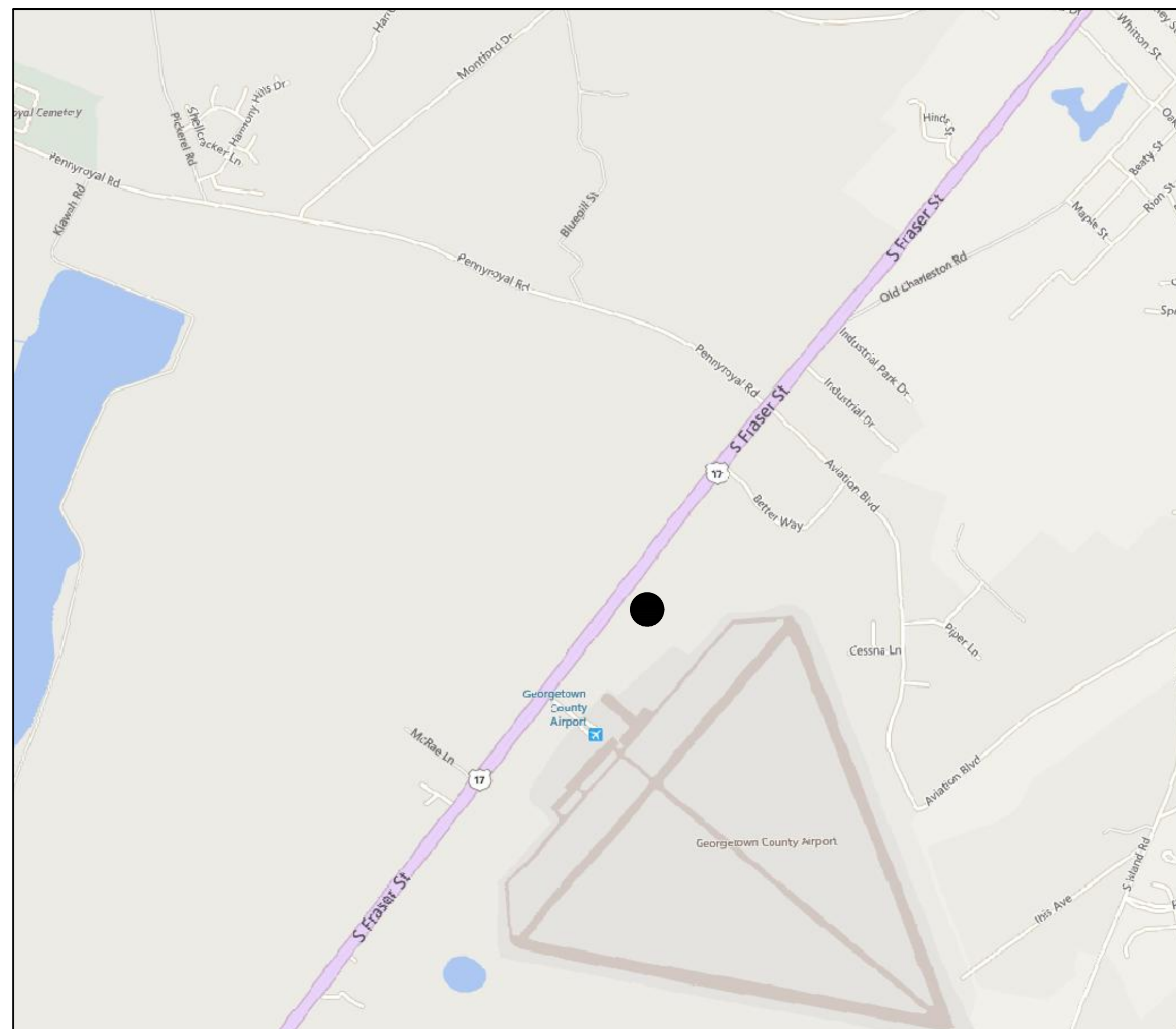
PARCEL PIN #(S) :	01-0445-36-00-00
CURRENT ZONING :	HC
TOTAL PROJECT AREA =	0.90 ACRES
LAND DISTURBANCE AREA =	0.90 ACRES
PROPOSED USE :	PEDESTRIAN OPEN SPACE
WETLAND AREA :	NONE

THIS PROPERTY IS LOCATED IN FLOOD ZONE "X" AS SCALED FROM F.I.R.M. No. 4500850379D, DATED MARCH 16, 1989, THIS PLAT IS NOT THE BASIS FOR FLOOD ZONE DETERMINATION OR FLOOD ZONE RELATED ISSUES.

CONTRACTOR SHALL BE KNOWLEDGEABLE WITH LOCAL, CITY, COUNTY, STATE, AND FEDERAL REGULATIONS AS THEY MAY PERTAIN TO THIS PROJECT AND SHALL ADHERE TO THESE REGULATIONS.

INFORMATION REGARDING THE PRESENCE, SIZE, CHARACTER, AND LOCATION OF ANY UNDERGROUND UTILITY AND/OR STRUCTURE SHOWN ON THIS PLAN IS APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO HAVE ALL UNDERGROUND UTILITIES LOCATED.

SITE LOCATION
4003 FRASER STREET
GEORGETOWN, SC 29440



LOCATION MAP / VICINITY MAP
SCALE N.T.S.

SHEET INDEX

- C101 COVER SHEET
- C102 GENERAL NOTES
- C103 EXISTING CONDITIONS
- C104 EROSION & SEDIMENT CONTROL
- C105 DEMOLITION
- C106 SITE PLAN
- C107 GRADING & DRAINAGE
- C108 DETAILS

Revision Date	Description

HORRY GEORGETOWN
TECHNICAL COLLEGE

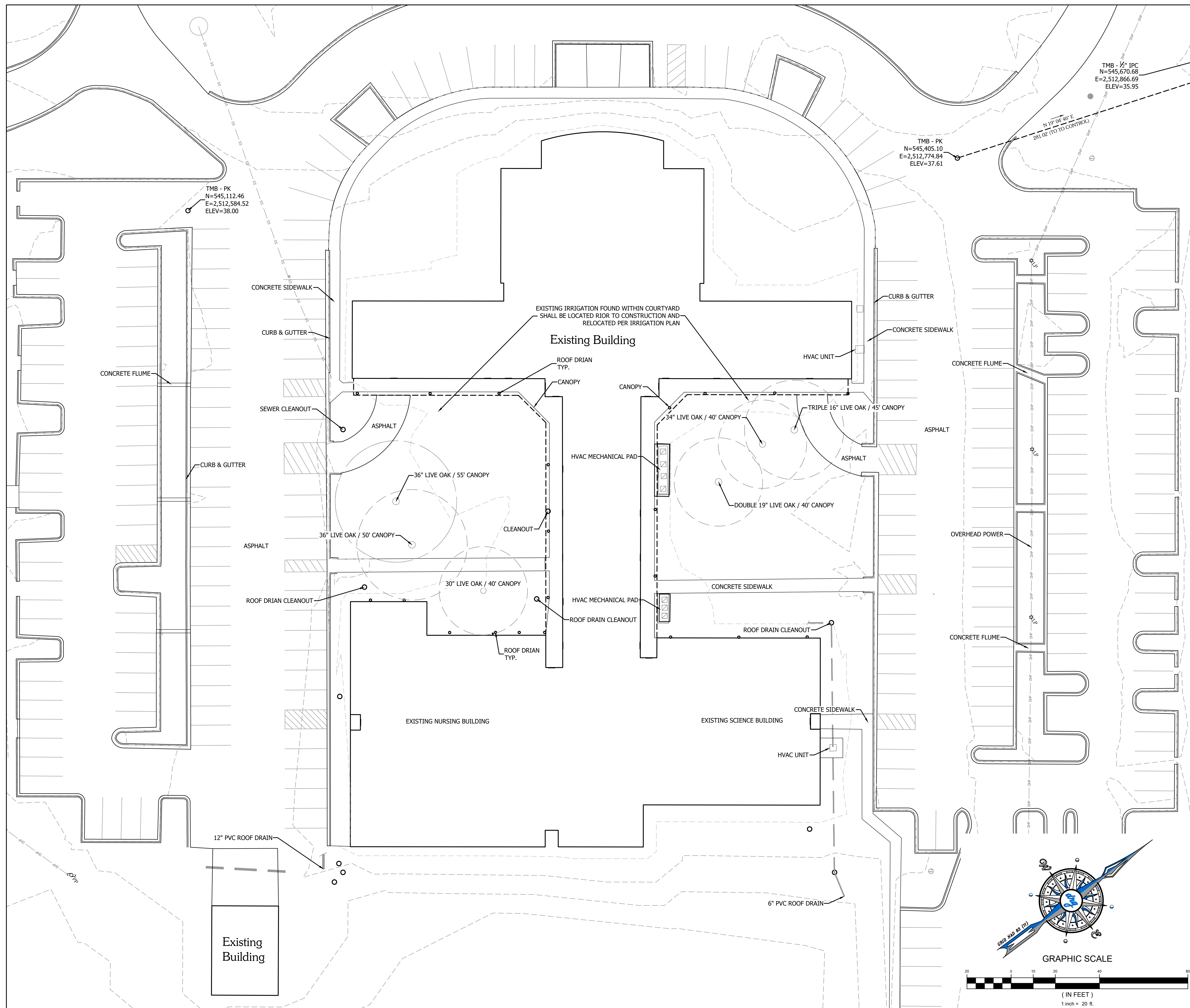
HGTC GEORGETOWN
HGTC - GT COURTYARD RENOVATION
4003 S Fraser St
Georgetown, SC 29440

Project Number:	H59-N055-CB
Checked By:	JRP
Drawn By:	SCH / PTH
Date:	08/14/2020
Scale:	N.T.S



**Know what's below.
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C101
CIVIL
COVER SHEET



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architecture

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1101 JOHNSON AVENUE, SUITE 300A
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147 Wappoo Creek Drive
Suite 400
Charleston, SC 29412
P 843.762.2222



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T:843.855.1154
NPETERS@TRUDESIGNLA.COM

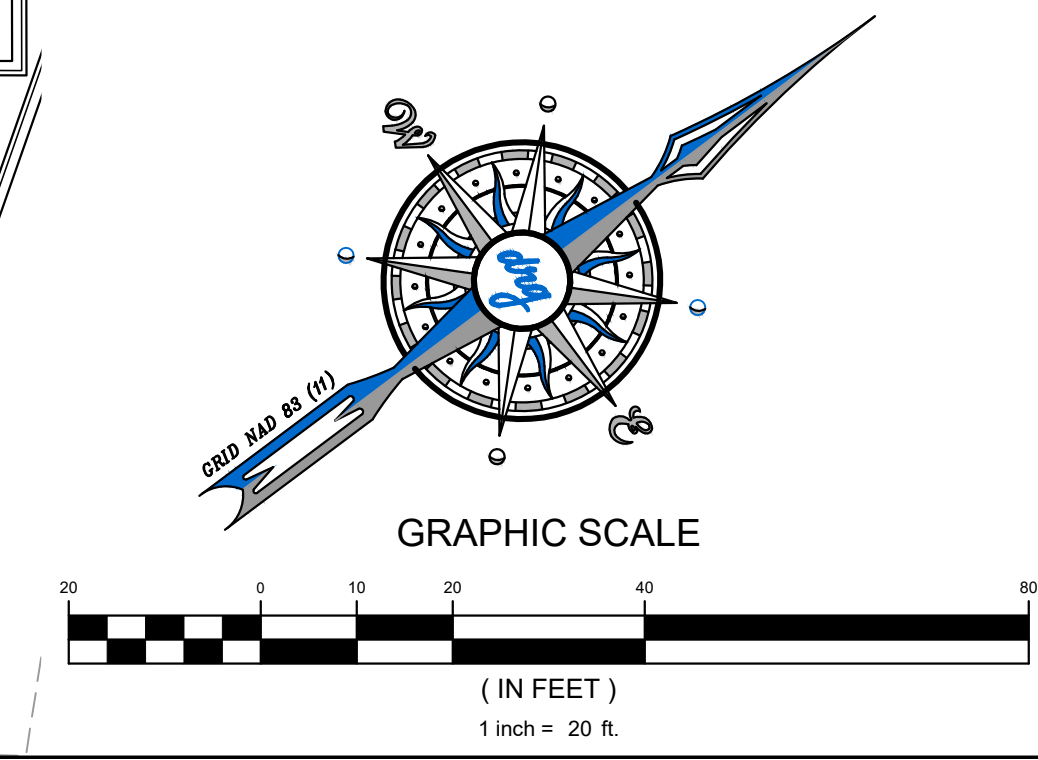
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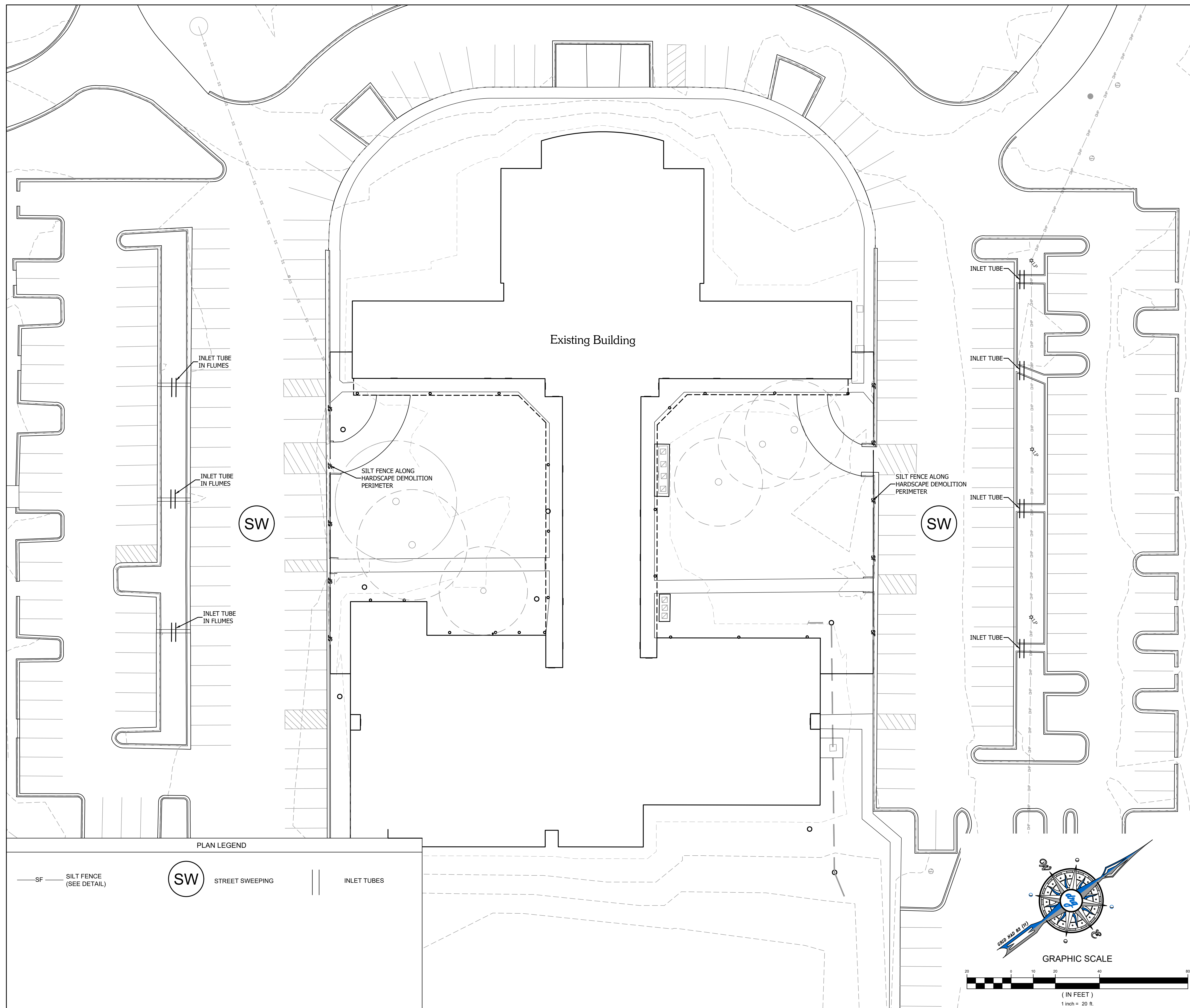
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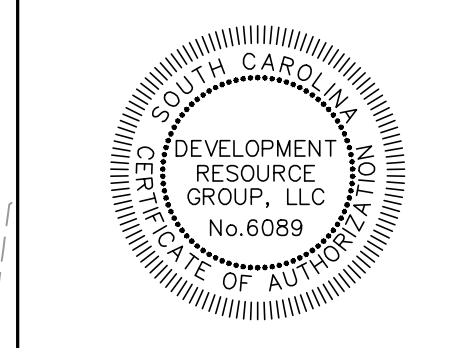
Project Number:	H59-N055-CB
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Date:	08/14/2020
Scale:	1" = 20'

C103
EXISTING
CONDITIONS





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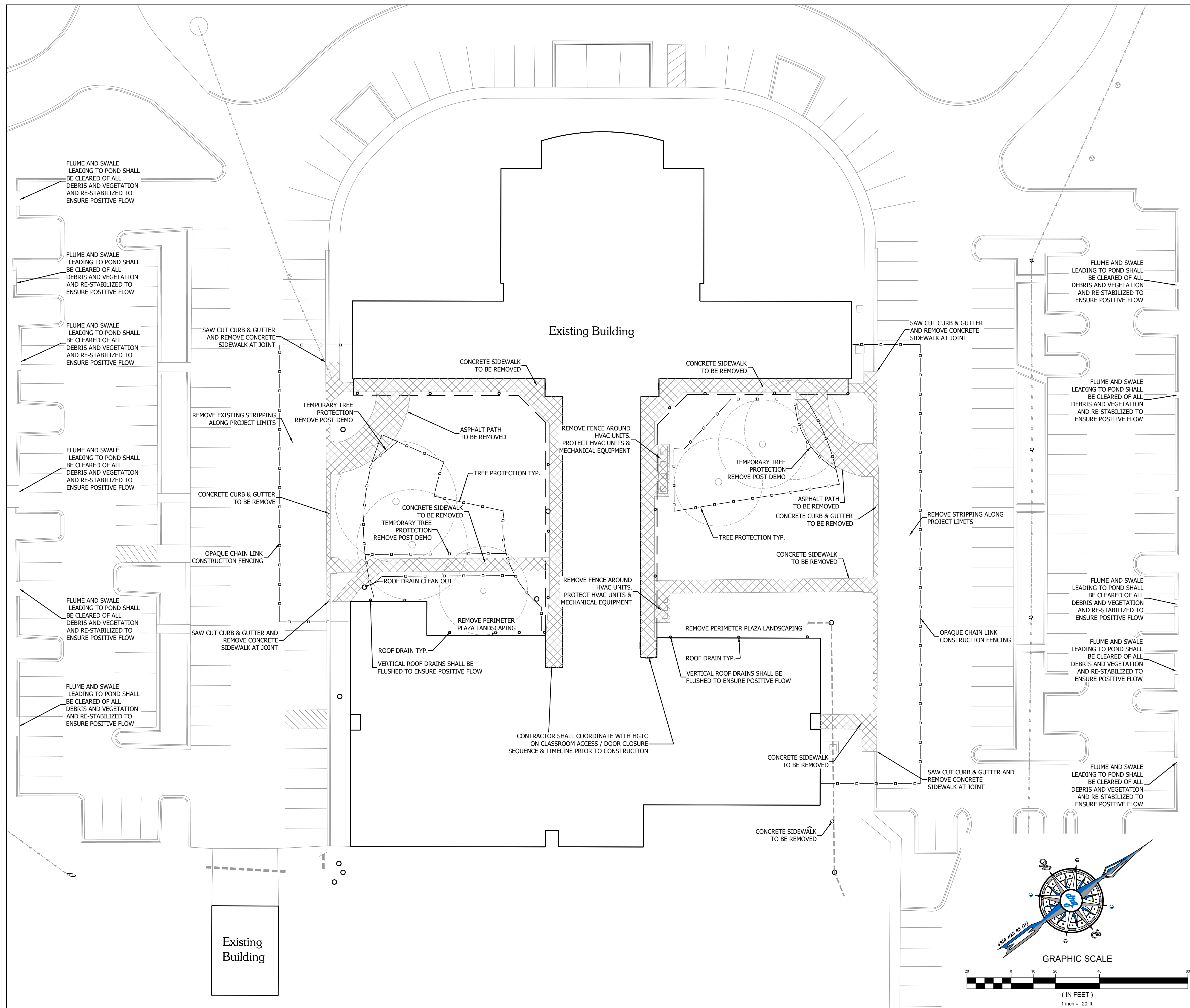
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C104
SEDIMENT &
EROSION
CONTROL PLAN



DEVELOPMENT RESOURCE GROUP, LLC
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C105
DEMOLITION
PLAN

drq

liollo
architecture

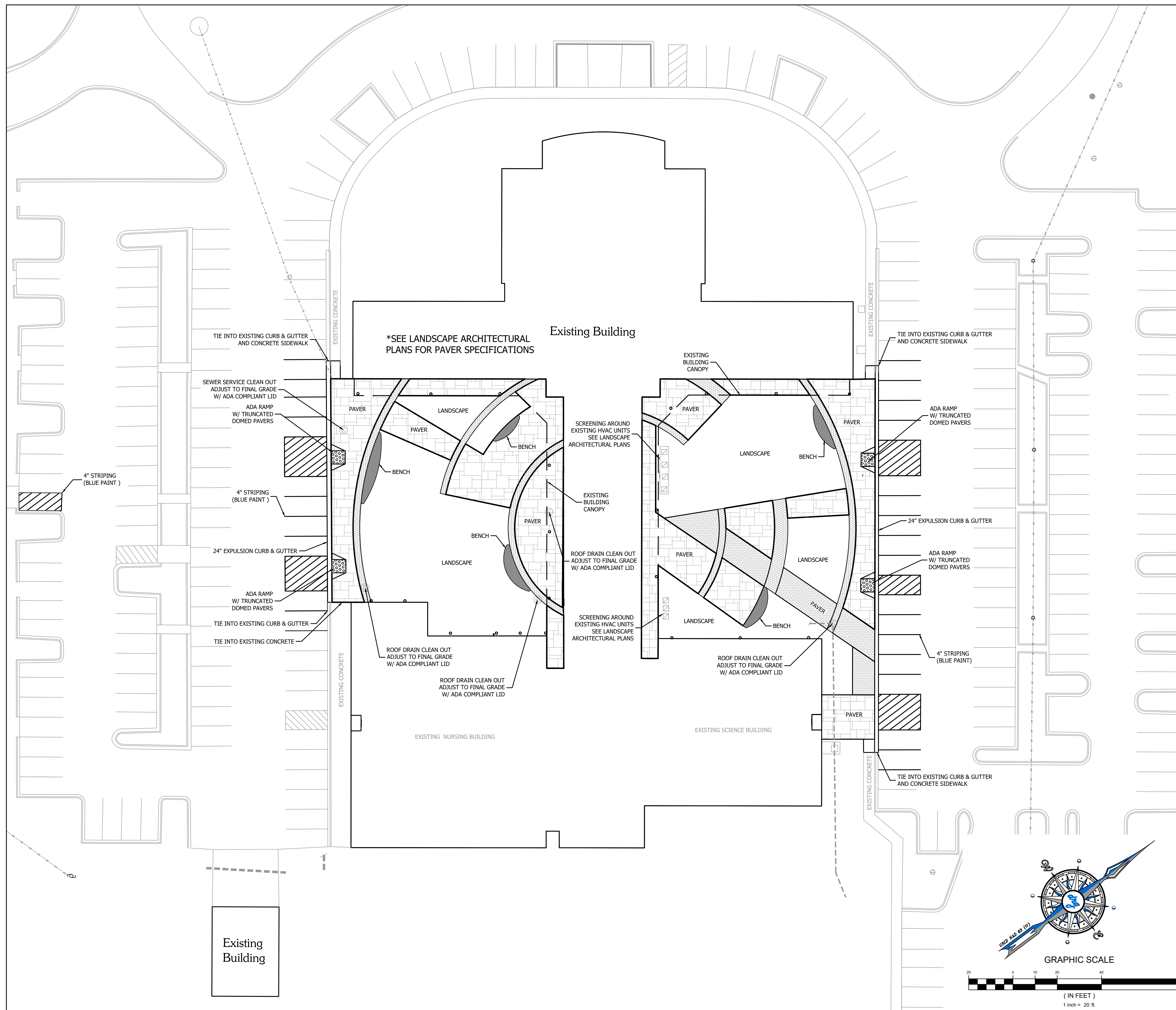
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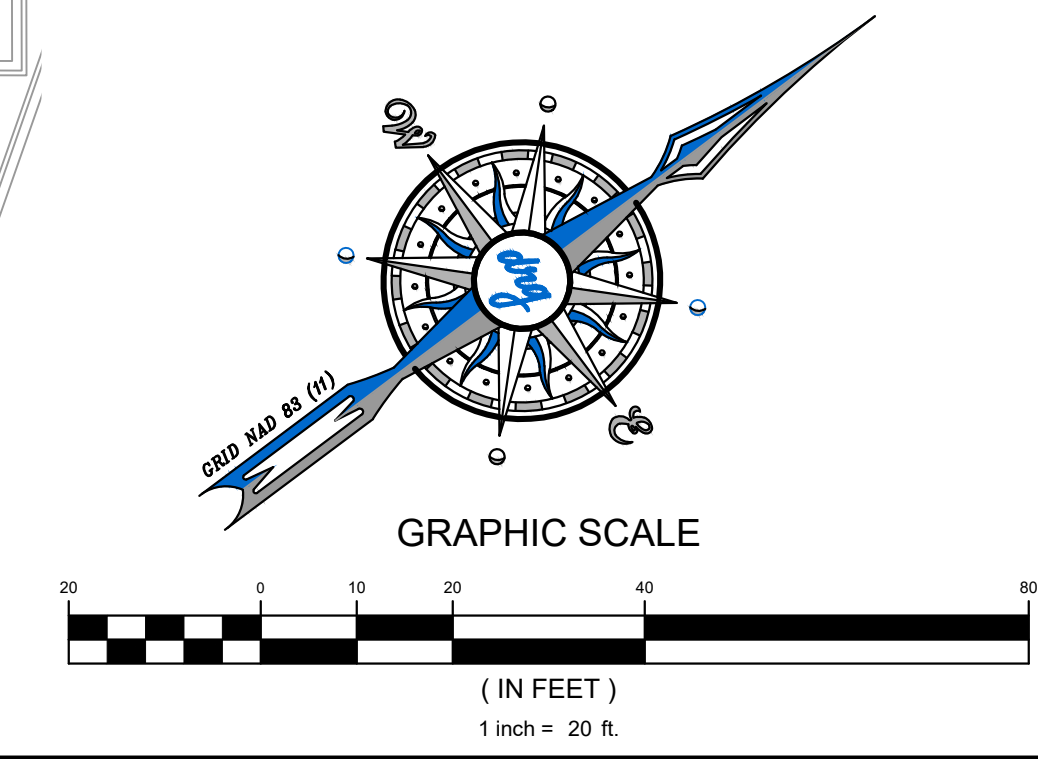
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C106
SITE PLAN





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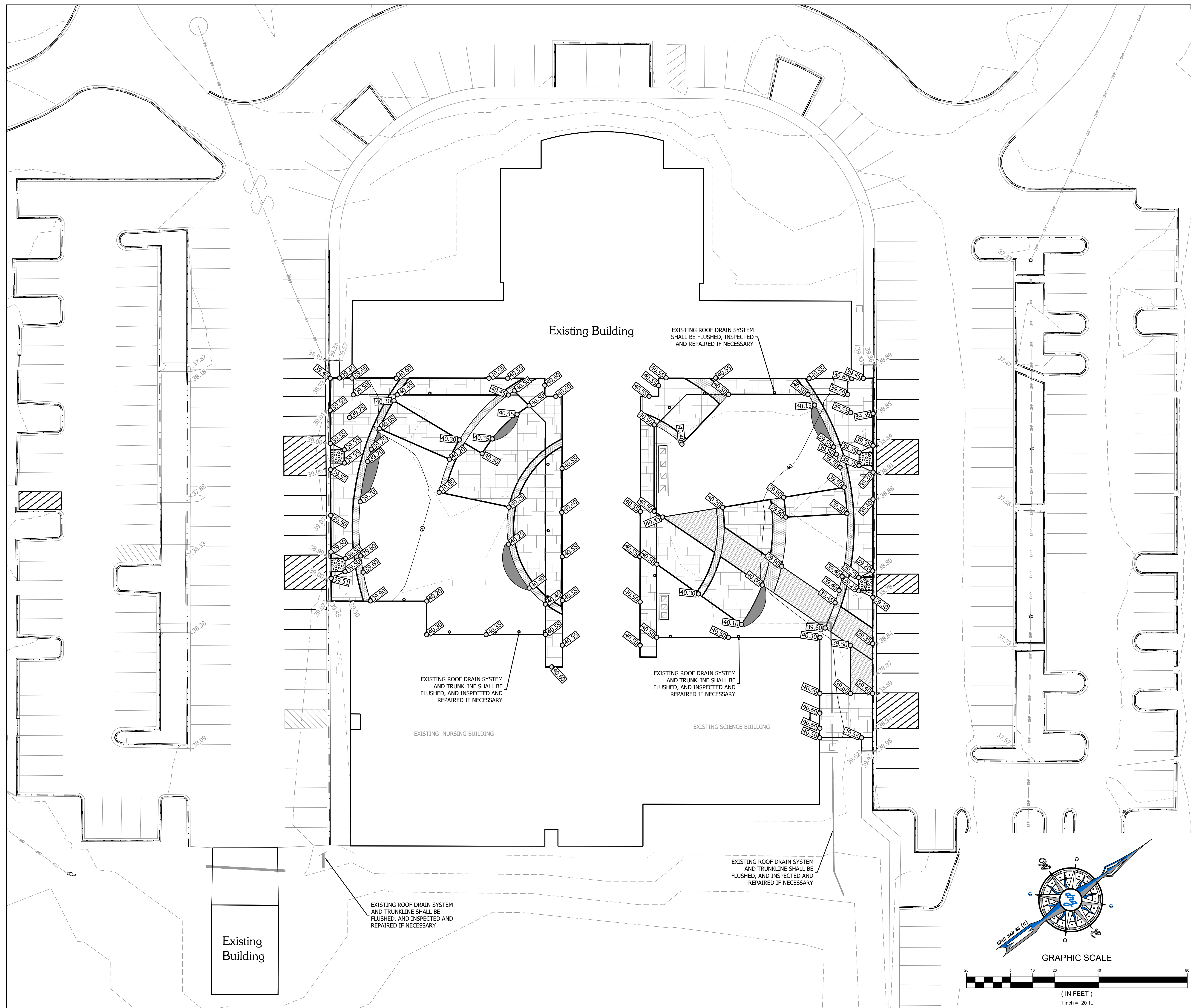
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**C107
GRADING &
DRAINAGE PLAN**



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Call before you dig.**

SITE PLAN NOTES

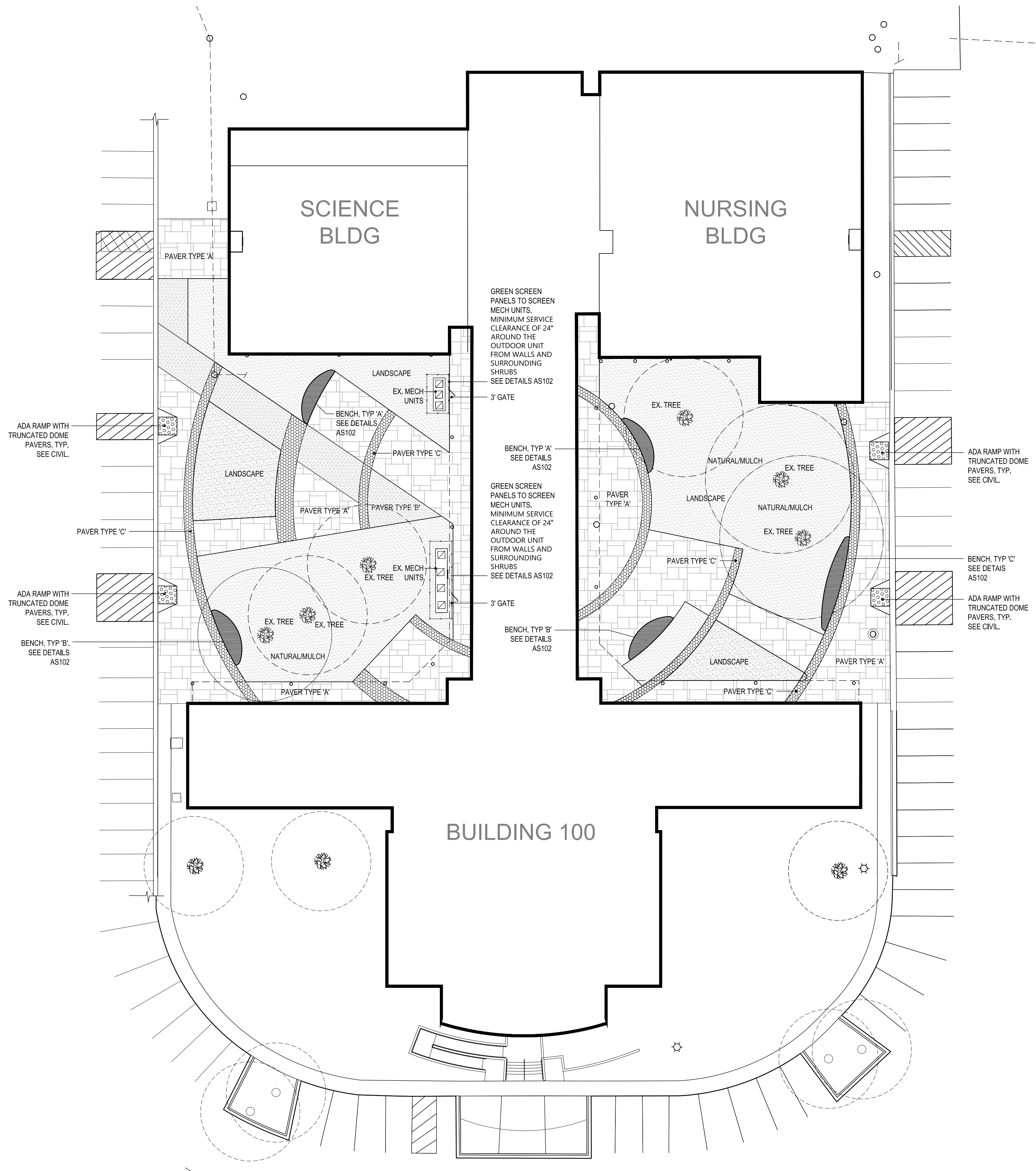
- CONTRACTOR IS RESPONSIBLE FOR THE STRUCTURAL INTEGRITY OF ALL ELEMENTS DURING CONSTRUCTION.
- CONTRACTOR TO VERIFY AND LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO SECURE A RESPONSIBLE UTILITY LOCATE SERVICE PRIOR TO ANY EXCAVATION OR INSTALLATION.
- PROVIDE 6" REINFORCED CONCRETE PADS UNDER ALL EXTERIOR MECH AND ELEC EQUIPMENT. G.C. TO VERIFY ALL UNIT/PADS SIZES.
- CONTRACTOR RESPONSIBLE FOR SECURITY FENCE AND SIGNAGE TO PREVENT INJURY TO THE PUBLIC DURING CONSTRUCTION.
- CONTRACTOR IS TO SECURE SITE WITH CONTINUOUS FENCING AND ALL OTHER PROTECTIVE MEASURES TO MEET THE REQUIREMENTS ESTABLISHED BY MYRTLE BEACH AND IBC 2015 CHAPTER 33.
- EXPANSION JOINTS TO BE INSTALLED EVERY 20' - 25' IN AREAS WHERE NEW CONCRETE IS PROPOSED.
- CONTRACTOR SHALL WORK TO MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES.
- PROVIDE AT LEAST ONE 4" PVC SLEEVE UNDER EVERY DRIVE OR SIDEWALK ON ENTIRE SITE. EXTEND ENDS 1'-6" MIN PAST EDGE OF CONCRETE. TAPE BOTH ENDS SECURELY AND GC IS TO LOCATE PRECISELY ON AS-BUILT DRAWING SET FOR FUTURE REFERENCE.
- PATCH AND REPLACE ALL EXISTING ROADWAYS, WALKS, & CURBS TO MATCH EXISTING WHERE DISTURBED TO DUE CONSTRUCTION OR UTILITY INSTALLATIONS.
- UNDERGROUND UTILITY CHASE/CONDUITS TO BE INSTALLED TO CONNECT ALL PHASES OF CONSTRUCTION. SEE ELEC AND CIVIL DWGS.
- LANDSCAPE LIGHTING WITHIN PROPERTY TO BE ON SEPARATE CIRCUIT AND MAINTAINED BY OWNER. LANDSCAPE AND SITE LIGHTING ON PUBLIC PROPERTY TO BE ON SEPARATE CITY CIRCUIT AND MAINTAINED BY HGTC.
- ALL DEMOLITION WORK DONE UNDER SEPARATE CONTRACT
- THIS ARCHITECTURAL SITE PLAN/LANDSCAPE PLAN HAS BEEN REVIEWED AND APPROVED BY THE OWNER / RESPONSIBLE AGENT WHO UNDERSTANDS THAT ANY CHANGES, SUBSTITUTIONS, OR DELETIONS MAY REQUIRE REVIEW AND APPROVAL BY THE RESPONSIBLE REVIEWING AUTHORITY.
- ALL LIGHTING WITHIN THE PROPERTY BOUNDARIES ARE THE RESPONSIBILITY OF THE OWNER. LIGHTING WITHIN THE PROPERTY BOUNDARIES ALSO TO BE ON A SEPARATE METER AND MAINTAINED BY THE OWNER.
- ALL SIDEWALKS WITHIN PUBLIC RIGHTS OF WAY TO BE A MINIMUM 6" THICKNESS
- CONTRACTOR TO PROVIDE PAVER MOCKUPS OF AS MANY AS 3-4 PATTERNS AND COLORS FOR FINAL SELECTION PURPOSES
- ALL PAVERS TO BE ADA COMPLIANT. CONTRACTOR TO VERIFY PAVER INSTALL IS ADA COMPLIANT. SEE CIVIL.
- DROP-OFF AREA AND ALL PEDESTRIAN ROUTES, PEDESTRIAN GATHERING LOCATIONS, ETC. TO HAVE 2% MAX SLOPE AND 2% MAX CROSS SLOPE. SEE CIVIL.
- WHERE PAVERS OCCUR ALONG AN ACCESSIBLE ROUTE, THE OPENINGS MUST NOT ALLOW THE PASSAGE OF A SPHERE MORE THAN 1/2" DIAMETER. ELONGATED OPENINGS SHALL BE PLACED SO THAT THE LONG DIMENSIONS IS PERPENDICULAR TO THE DIRECTION OF TRAVEL. 2010 ADA 302.3 (TYP).
- GAPS OR OPENINGS IN GROUND SURFACES SHALL BE LESS THAN 1/2" WIDE, WITH A CHANGE IN LEVEL OF 1/4" MAXIMUM HEIGHT. A CHANGE IN HEIGHT GREATER THAN 1/4", UP TO 1/2" MAY BE BEVELED AT A 1:2 SLOPE, 2010 ADA 303, (TYP).

SITE PLAN LEGEND:

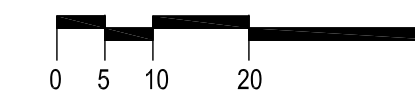
- PAVER SYSTEM - TYPE 'A' - TECO BLOC INCA - SEE SITE DETAILS AS102 - FRENCH PATTERN
- PAVER SYSTEM - TYPE 'B' - TECO BLOC LINEA - SEE SITE DETAILS AS102 - RUNNING BOND
- PAVER SYSTEM - TYPE 'C' - TECO BLOC ANTIKA - SEE SITE DETAILS AS102
- LANDSCAPE BED
- BENCH - SEE DETAIL AS102

ALL PAVERS TO BE ADA COMPLIANT. ALL PAVERS TO HAVE MAX SLOPE OF 2% AND MAX CROSS SLOPES OF 2%

CONTRACTOR TO PROVIDE PAVER 10'X10' MOCKUPS OF AS MANY AS 3-4 PATTERNS AND COLORS FOR FINAL SELECTION PURPOSES



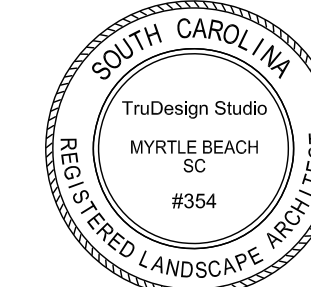
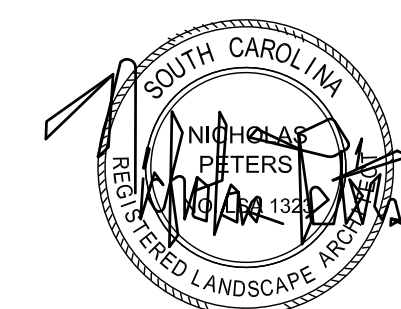
01 SITE PLAN
AS101 SCALE = 1" = 20'-0"



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Revision Date Description

Revision Date	Description

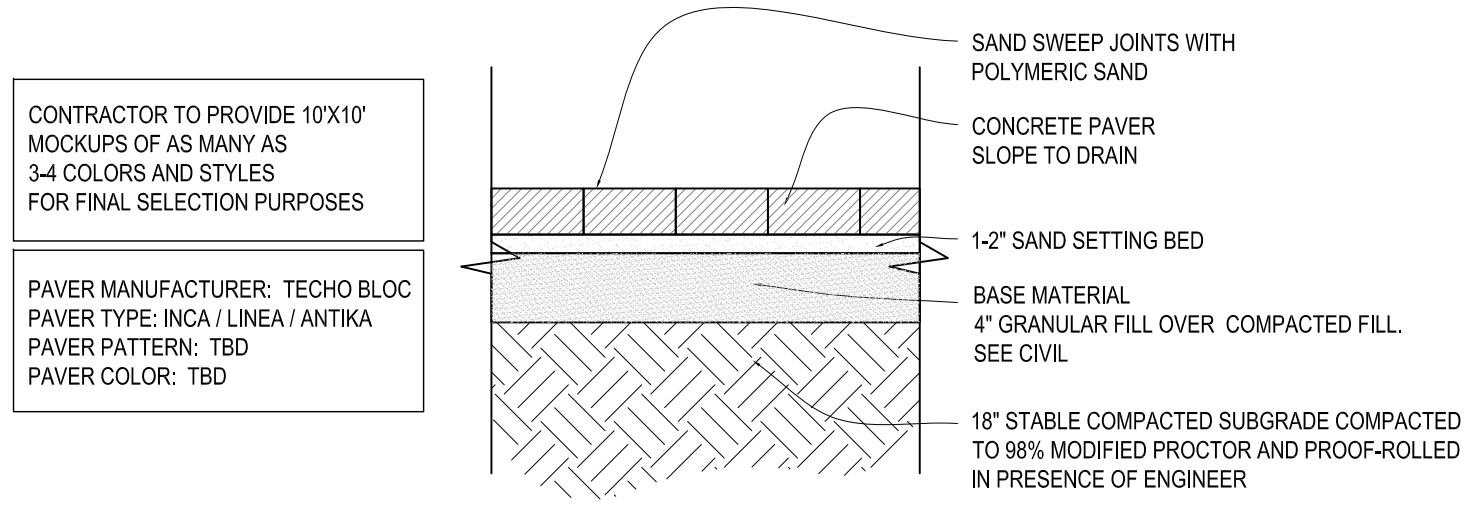
HORRY GEORGETOWN
TECHNICAL COLLEGE
HGTC GEORGETOWN
COURTYARD RENOVATION

4003 S Fraser St
Georgetown, SC 29440

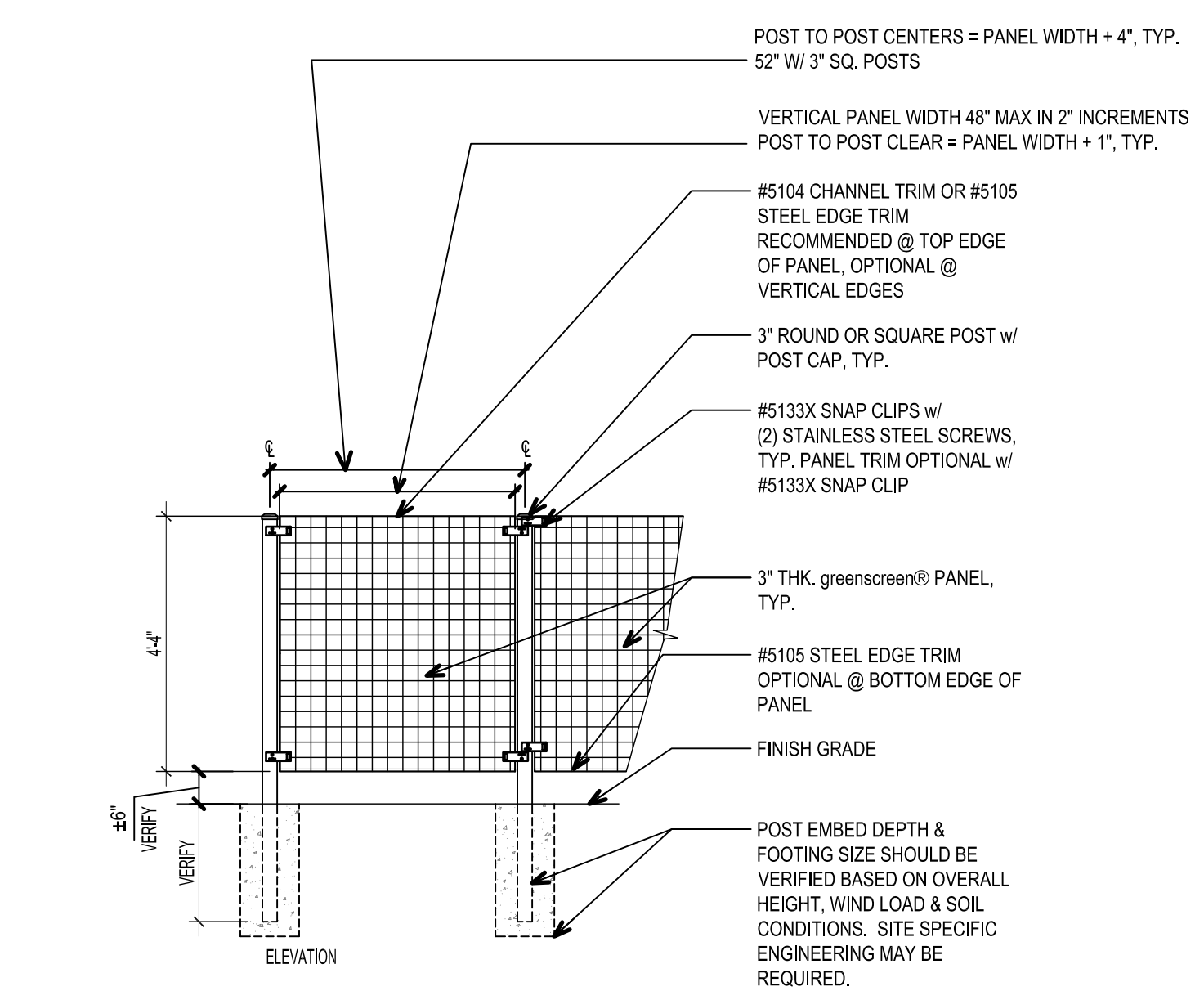
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AS101 SITE PLAN

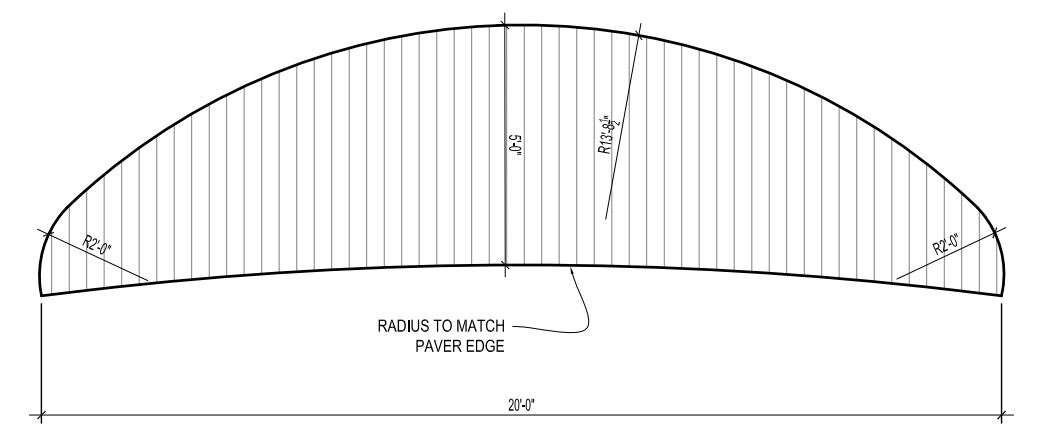
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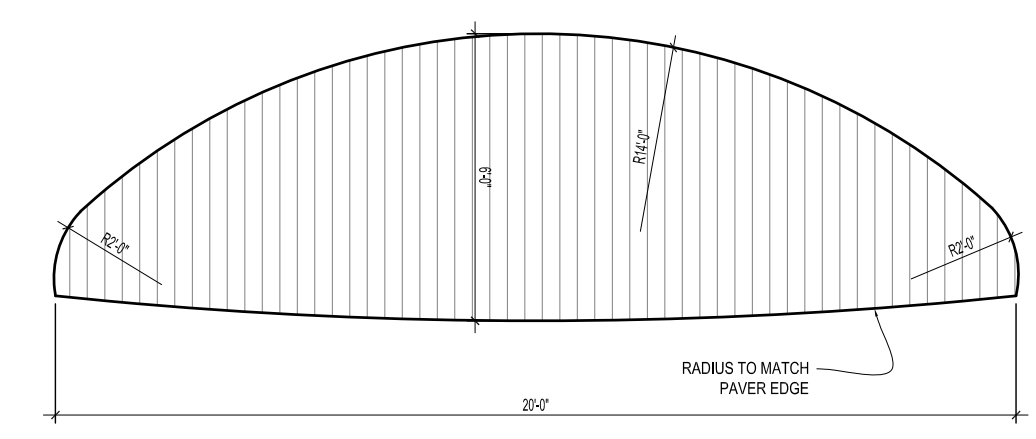
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SCALE: NTS



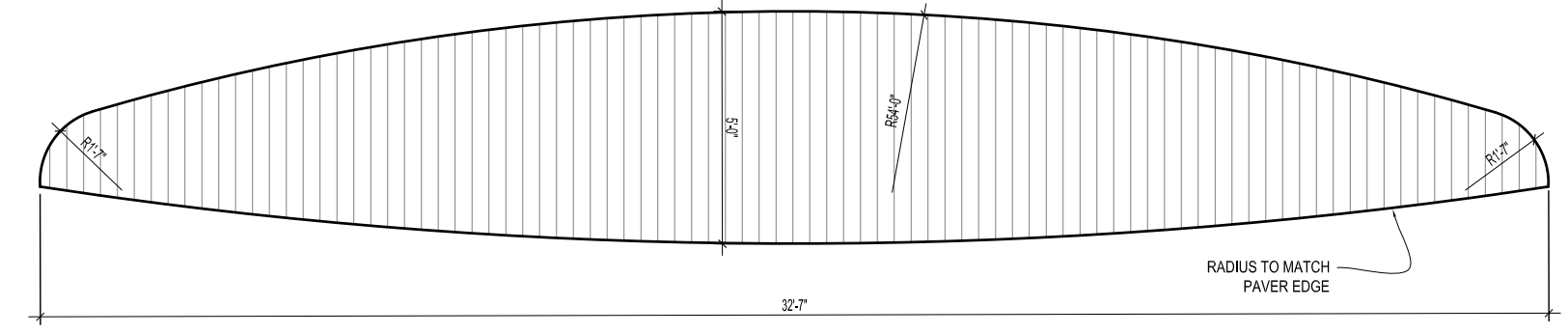
02 GREEN SCREEN DETAIL
SCALE: $\frac{3}{8}'' = 1'-0''$



BENCH TYPE 'A'
78 SF

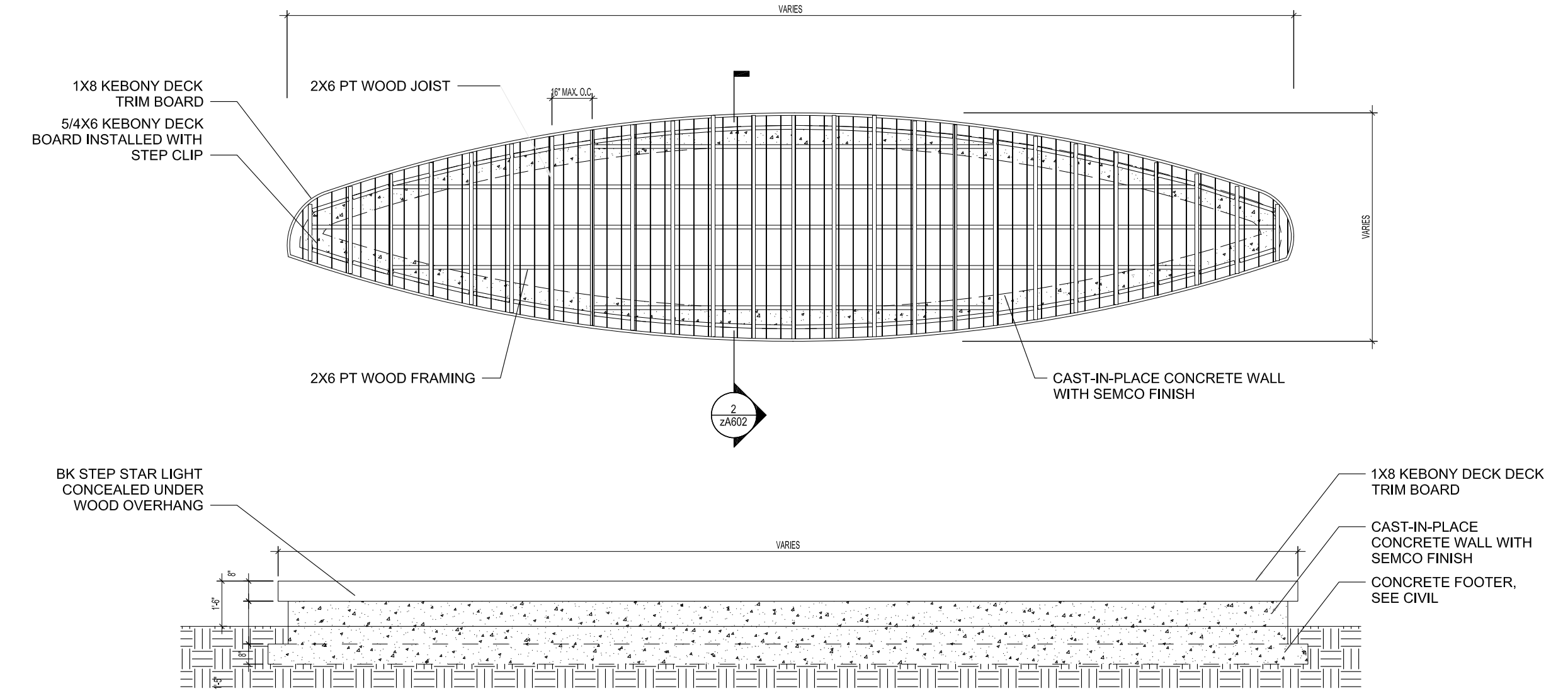


BENCH TYPE 'B'
90 SF

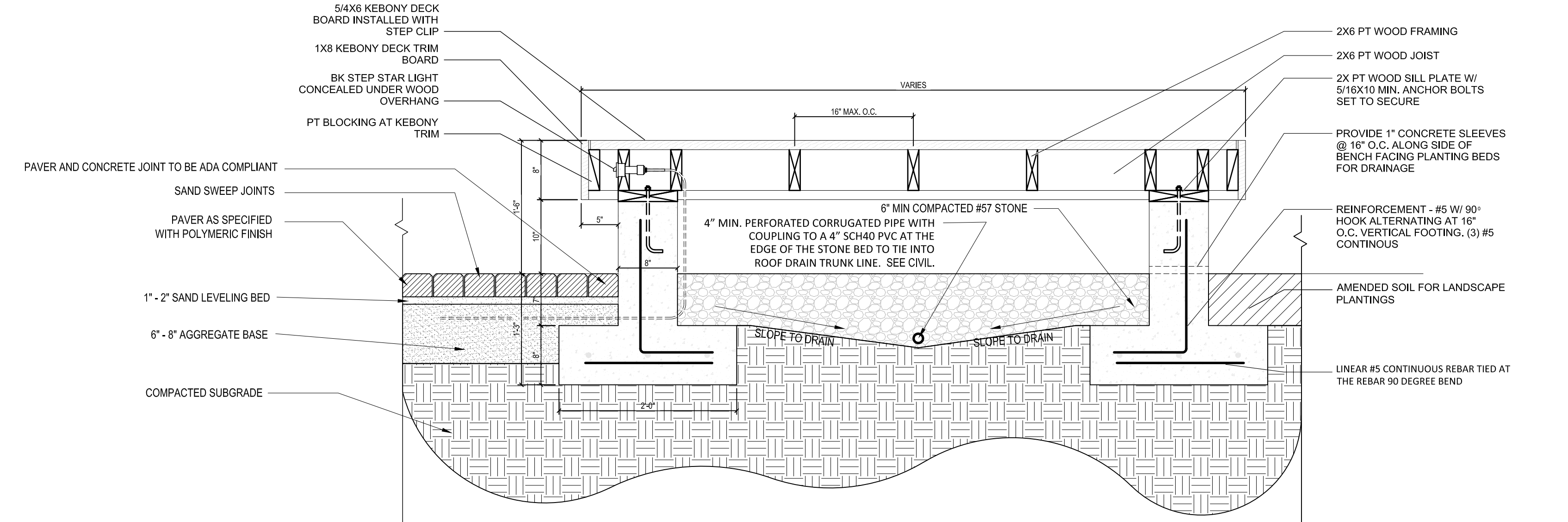


BENCH TYPE 'C'
123 SF

03 BENCH TYPES
SCALE: $\frac{1}{4}'' = 1'-0''$



03 BENCH DETAIL
SCALE: $\frac{1}{4}'' = 1'-0''$



04 BENCH SECTION
SCALE: $1'' = 1'-0''$



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Know what's below.
Call before you dig.

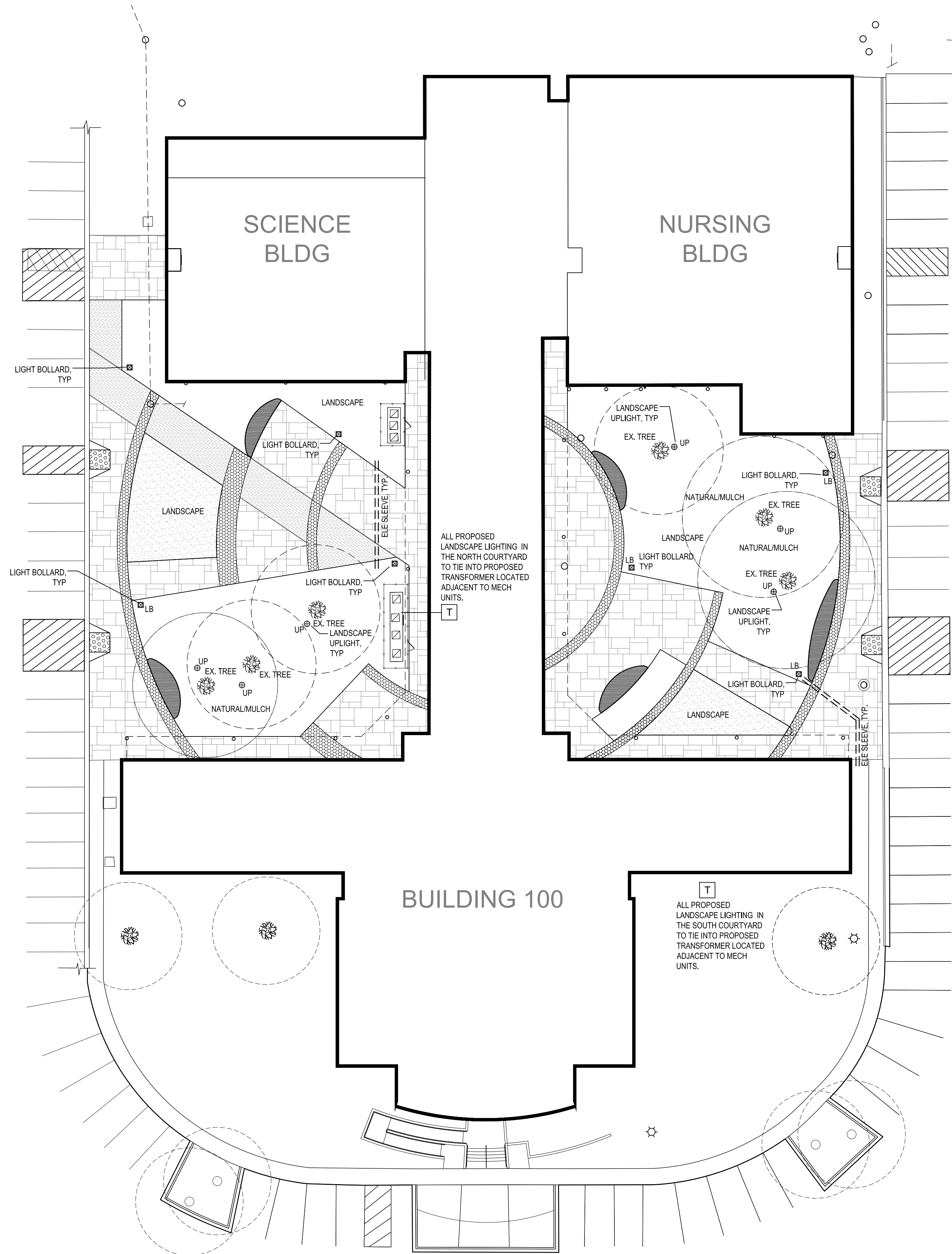
LIGHTING PLAN NOTES:

1. ACTUAL PLACEMENT AND ADJUSTMENTS OF ALL LIGHT FIXTURES TO BE DETERMINED ON SITE.
2. INSTALL TRANSFORMERS AT LEAST 12" ABOVE GROUND.
3. PLAN DETAILS ARE INTENDED TO SHOW DESIRED RESULTS OF THE DESIGN. MINOR MODIFICATIONS OR ADJUSTMENTS MAY BE NECESSARY TO SUIT JOB REQUIREMENTS OR SITE CONDITIONS.
4. ALL MATERIAL AND LIGHTING EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH THE SPECIFIC RECOMMENDATIONS OF THE MANUFACTURER UNLESS OTHERWISE NOTED AND SHALL COMPLY WITH ALL LOCAL BUILDING CODES. THE CLIENT AND/OR SELECTED CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY LOCAL OR STATE BUILDING PERMITS.
5. ALL CABLE RUNS INSTALLED UNDER HARDSCAPE SUCH AS SIDEWALKS, PATIOS, CONCRETE, ETC., OR INSTALLED UNDER LAWN TURF AREAS SHALL BE INSTALLED USING SCHEDULE 40 PVC ELECTRICAL CONDUIT SLEEVES OR OTHER MATERIAL THAT HAS BEEN APPROVED BY LOCAL OR STATE BUILDING CODES.
6. USE ONLY APPROVED CABLE CONNECTIONS AND SPLICE ALL WIRES IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATION.
7. INSTALLATION CONTRACTOR TO VERIFY ALL MATERIAL AND EQUIPMENT AVAILABILITY TO BE INSTALLED PRIOR TO INSTALLATION.
8. INSTALLATION CONTRACTOR TO SECURE THE SERVICES OF A LICENSED ELECTRICIAN TO INSTALL AN OUTDOOR GFI OUTLET AND MAIN ELECTRICAL SERVICE LINE FOR LOW VOLTAGE LIGHTING TRANSFORMER.

LANDSCAPE LIGHT SCHEDULE			
TYPE	MANUFACTURER INFO	QUANTITY	
LANDSCAPE UPLIGHT	BK LIGHTING - DELTA STAR - ALUM LED - MARINE GRADE PRIMER	6	
LIGHT BOLLARD	HESS - CE-180-AR - 4' HT 7" DIA LED	7	
LANDSCAPE LIGHT TRANSFORMER	TBD	2	
BENCH LIGHT	BK STEP STAR™ SOLID STATE (BKSSL®) POWER OF 'E'	10	

LANDSCAPE LIGHTING LEGEND

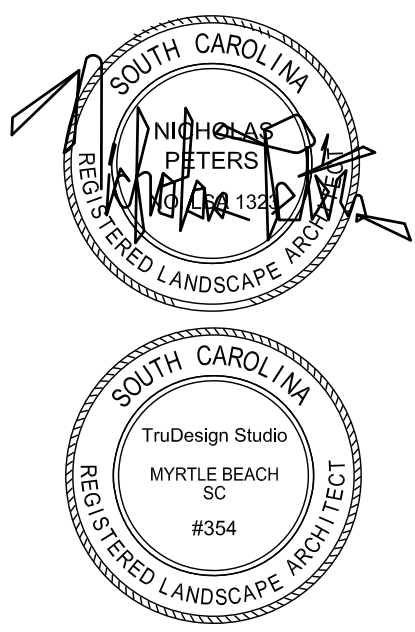
- LANDSCAPE LIGHT TRANSFORMER
- LANDSCAPE LIGHT BOLLARD
- LANDSCAPE UP LIGHT
- SLEEVE



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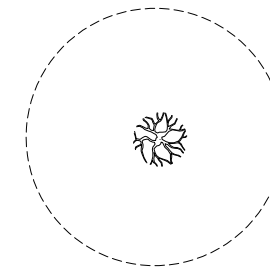
Project Number: H59-NO55-CB
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AS103 LANDSCAPE LIGHTING PLAN

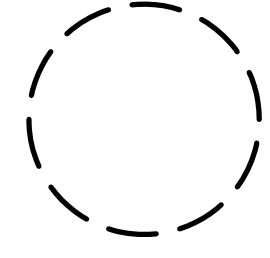
01 LANDSCAPE LIGHTING PLAN
AS103 SCALE = 1" = 20'-0"



TREE REMOVAL LEGEND:

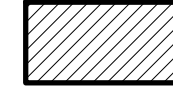


EXISTING TREES TO REMAIN



TREE PROTECTION FENCING. FENCING MUST BE EQUAL TO 1/2 FOOT (6") FOR ONE INCH (1") OF THE RELATED TREE.

FOR EXAMPLE, IF A TREE TO BE PROTECTED HAS A 28" CALIPER, THE PROTECTIVE FENCING MUST HAVE A RADIUS OF 14'-0" OR A 28'-0" DIAMETER.



EXISTING SHRUBS TO BE REMOVED AND AREA PREPPED FOR PROPOSED LANDSCAPE INSTALL

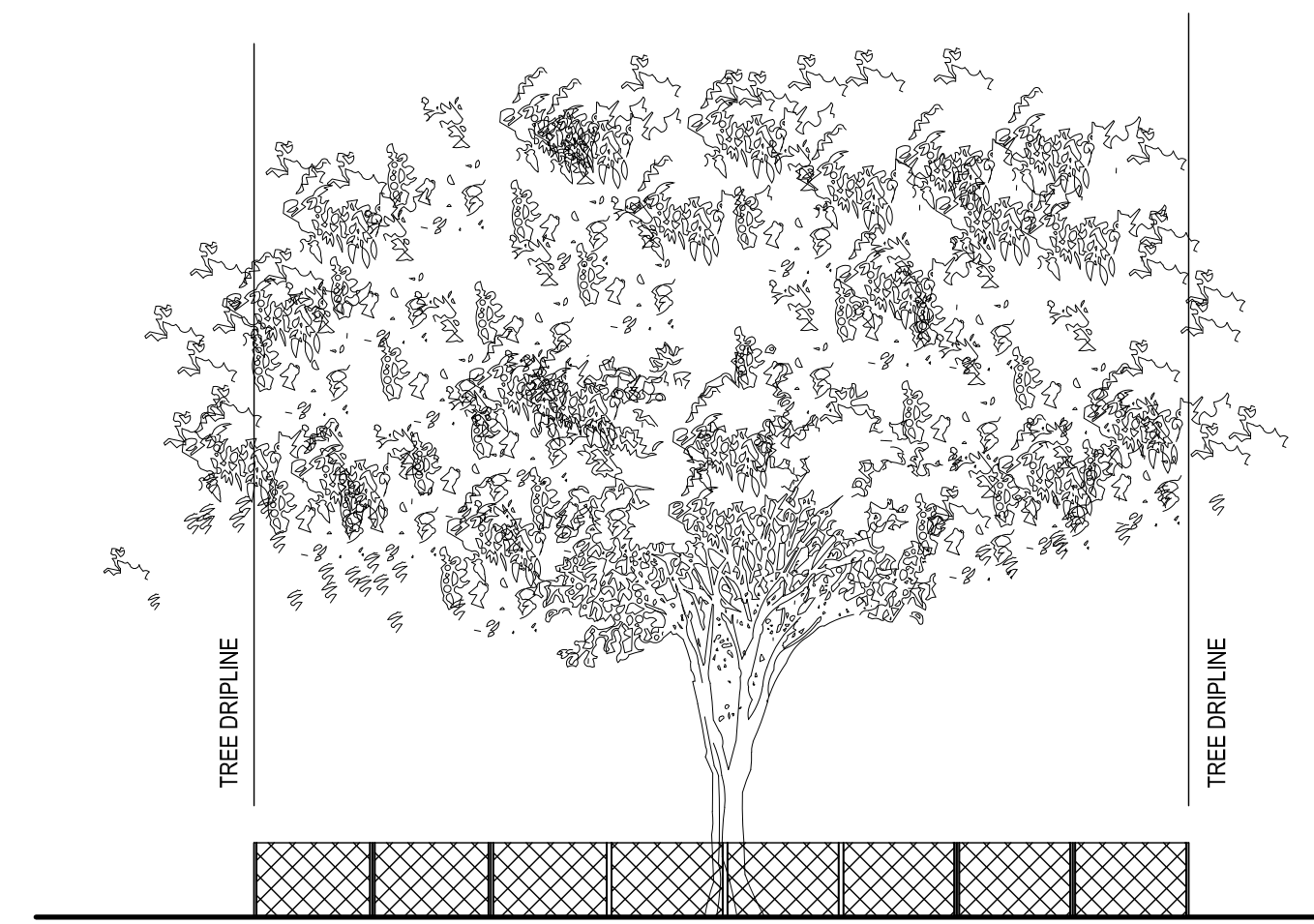
GENERAL NOTES - CONSTRUCTION

CONTRACTOR SHALL NOTIFY TRUDESIGN STUDIO PRIOR TO START OF ANY CONSTRUCTION AND PARTICIPATE IN ANY PRE-CONSTRUCTION CONFERENCES AS MAY BE REQUIRED.

ANY INFORMATION SHOWN ON THESE DRAWINGS PERTAINING TO THE EXISTENCE, LOCATION OR ELEVATION OF EXISTING UTILITIES HAS BEEN TAKEN FROM INFORMATION SUPPLIED BY OTHERS. THE DESIGNER HAS PERFORMED NO EXCAVATIONS TO VERIFY THE ACCURACY OF THIS INFORMATION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE APPROPRIATE AGENCIES TO OBTAIN AN ACCURATE FIELD LOCATION OF ANY AND ALL UTILITIES THAT MAY BE IN THE VICINITY OF THE PROPOSED WORK. THE CONTRACTOR SHALL VERIFY, BY FIELD MEASUREMENT, THE LOCATION AND ELEVATION OF ANY UTILITIES THAT MAY AFFECT CONSTRUCTION OF THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCIES BETWEEN THE INFORMATION AS SHOWN ON THE DRAWINGS AND THAT OBTAINED BY FIELD MEASUREMENTS, AND OF ANY POSSIBLE CONFLICTS OR INTERFERENCES WITH THE PROPOSED WORK. THE DESIGNER SHALL BE ALLOWED THE TIME NECESSARY TO MAKE DESIGN REVISIONS REQUIRED TO MINIMIZE OR ELIMINATE DISCOVERED CONFLICTS.

GENERAL NOTES - DEMOLITION

1. CONTRACTOR RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES.
2. COORDINATE ADDITIONAL DEMOLITION WORK, SUCH AS CURB CUTS AND UTILITY CUTS, WITH SURVEY DOCUMENTATION.
3. TRUDESIGN STUDIO IS NOT RESPONSIBLE FOR ANY DAMAGES TO EXISTING OR PROPOSED SIDEWALKS, UTILITIES, BUILDINGS, OR ANY THING ELSE THAT MAY BE DAMAGED DUE TO LANDSCAPE DEMOLITION OR PRUNING



01 TREE PROTECTION DETAIL
L100 N.T.S.

TREE PROTECTION NOTES:

PRE-CONSTRUCTION:

1. ALL TREES TO REMAIN. IF ANY DAMAGE TO EXISTING TREES OCCURS FROM RESULTS OF CONTRACTOR'S ACTIONS, CONTRACTOR WILL BE RESPONSIBLE FOR EQUIVALENT REPLACEMENT OF TREES.

2. BEFORE BEGINNING CONSTRUCTION OR CLEARING THE SITE, PLACE PROTECTIVE TREE FENCING (SEE TREE PROTECTION DETAIL) AROUND THE DRIP LINES OF THE TREES TO BE SAVED. DO NOT DISTURB THE SOIL INSIDE THE FENCE. NOTIFY THE CONTRACTOR AND HIS EMPLOYEES THAT THE FOLLOWING ACTIVITIES WILL NOT BE ALLOWED IN THE VICINITY OF THE PROTECTED TREES*

- NO PARKING OF CARS OR EQUIPMENT
- NO STORAGE OF MATERIALS
- NO WASTE DISPOSAL OR CLEANING/WASHING OF EQUIPMENT OR TOOLS
- NO BURNING
- NO SOIL DISTURBANCE, NATURAL GRADE SHOULD BE RETAINED
- DO NOT SCRAPE OFF UNDERBRUSH INSIDE THE FENCE WITH MOTORIZED EQUIPMENT, USE HAND TOOLS IF NECESSARY
- NO SPOILS FROM TRENCHES OR OTHER EXCAVATIONS SHALL BE PLACED WITHIN THE TREE PROTECTION ZONE, EITHER TEMPORARILY OR PERMANENTLY

3. THE PROTECTIVE FENCING SHALL BE ORANGE VINYL, CHAIN LINK OR OTHER SIMILAR FENCING AT LEAST 6'-0" IN HEIGHT. THE FENCE SHALL BE SUPPORTED AT A MAXIMUM OF 8'-0" INTERVALS BY METAL POSTS OR AN APPROVED METHOD SUFFICIENT TO KEEP FENCE UPRIGHT FOR THE DURATION OF THE PROJECT.

4. THE FENCING AROUND THE TREE OR SHRUB SHOULD BE MAINTAINED IN GOOD CONDITION UNTIL CONSTRUCTION IS COMPLETED. CONTRACTOR IS RESPONSIBLE FOR FENCING THAT IS DAMAGED DURING CONSTRUCTION.

5. APPLY 8'-0" DIAMETER MULCH RING @ 3'-5" AROUND BASE OF TREES.

DURING CONSTRUCTION:

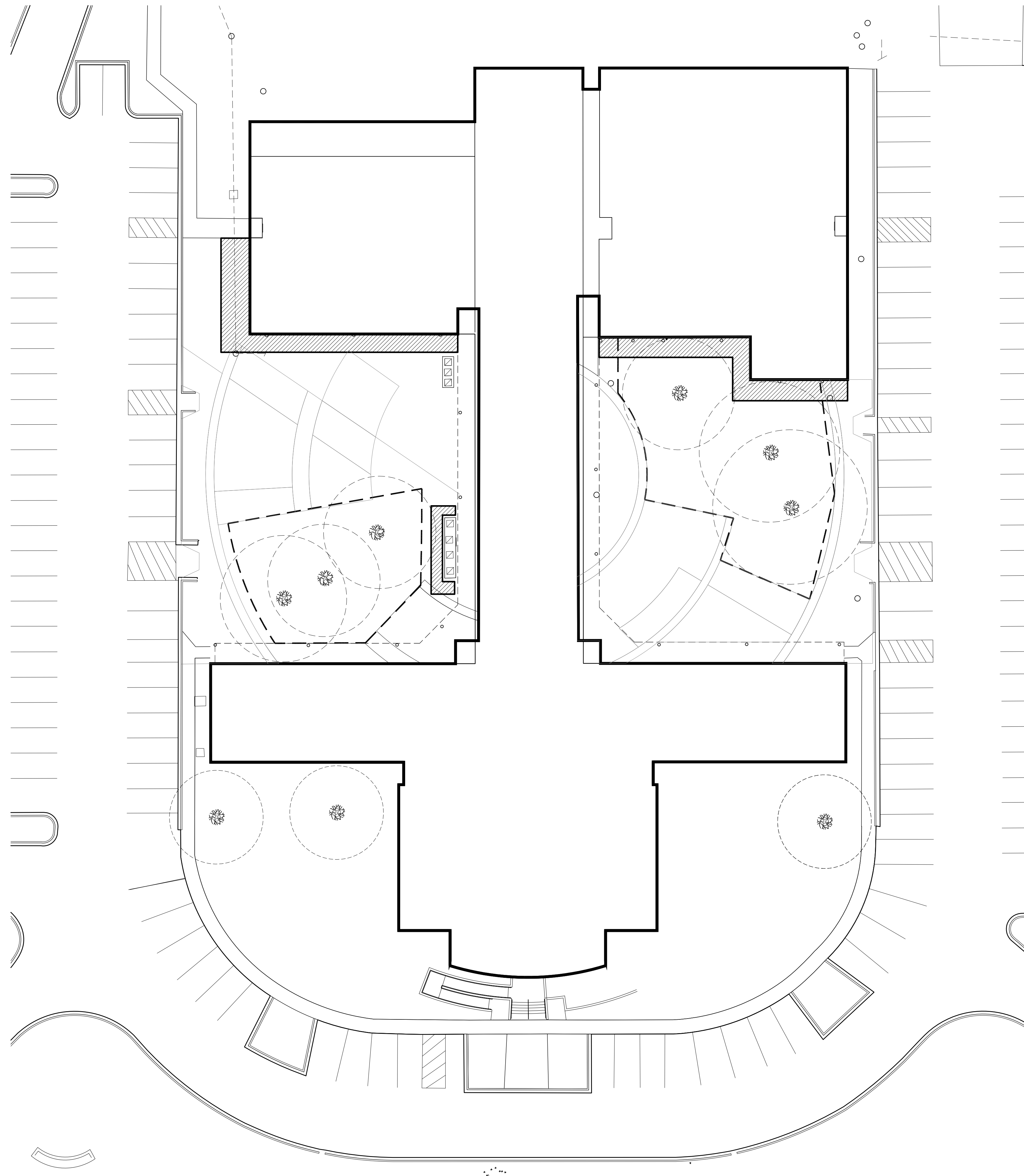
1. REMOVE AS FEW ROOTS AS POSSIBLE WHEN EXCAVATION SOIL. ONLY DIG TO THE MINIMUM DEPTH REQUIRED FOR WORK. AFTER EXCAVATING, USE A CHAINSAW TO CLEANLY CUT JAGGED OR TORN ENDS OF LARGE EXPOSED TREE ROOTS. COVER THE EXPOSED ROOT ENDS IMMEDIATELY WITH SOIL TO KEEP THEM FROM DRYING OUT.

POST CONSTRUCTION:

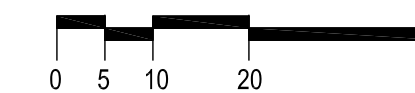
1. REMOVE PROTECTIVE FENCING AND DISPOSE OF PROPERLY.

2. VISUALLY INSPECT THE PLANTS FOR SIGNS OF BROKEN LIMBS OR OTHER DAMAGE. NOTIFY THE OWNER OF BROKEN LIMBS OR DAMAGE TO TREES

3. TREES TO BE REVISITED BY HGTC AND DETERMINE IF ANY ADDITIONAL TREE PRUNING NEEDS TO TAKE PLACE



02 TREE PROTECTION PLAN
L100 SCALE = 1" = 20'-0"



SCALE: As indicated



Revision Date Description

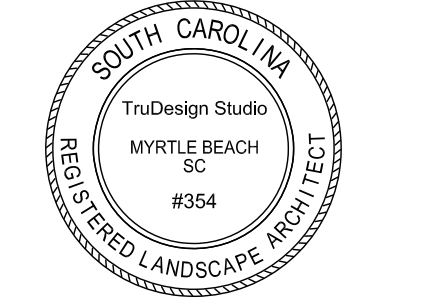
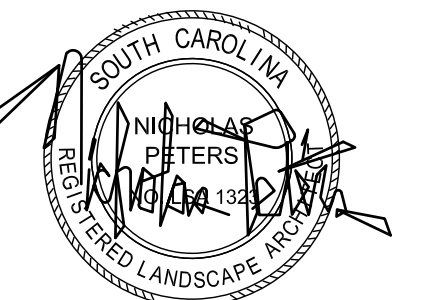
Revision Date	Description

HORRY GEORGETOWN
TECHNICAL COLLEGE
HGTC GEORGETOWN
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Project Number: H59-NO55-CB
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L100
LANDCAPE DEMO &
TREE PROTECTION
PLAN

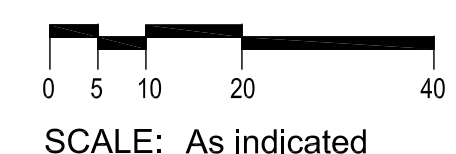
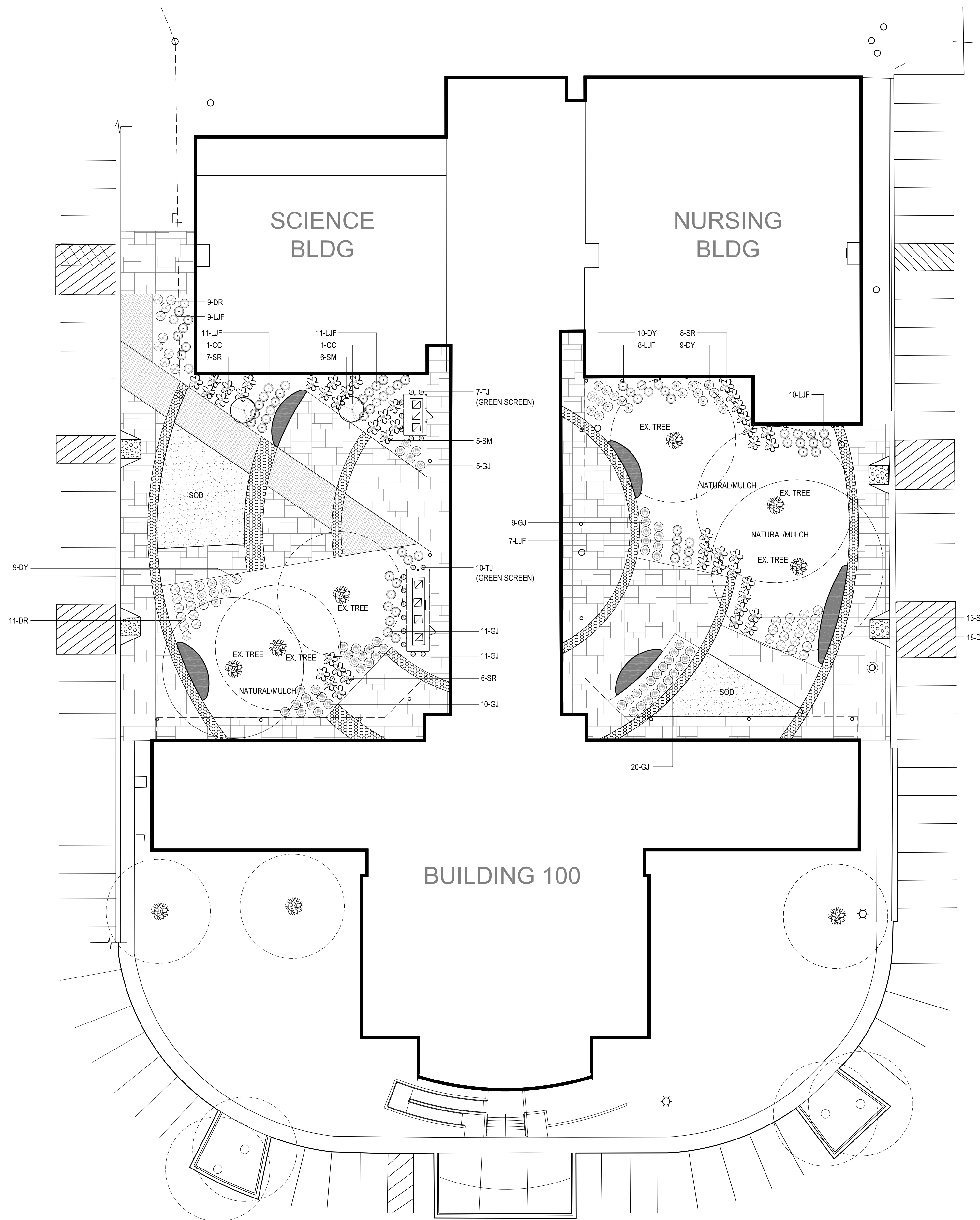


GENERAL NOTES - LANDSCAPE

1. ALL SPECIFIED PLANT MATERIAL SHALL COMPLY THE THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-1996). TRUDESIGN STUDIO RESERVES THE RIGHT TO REJECT INFERIOR PLANT MATERIAL.
2. CONTRACTOR / OWNER SHALL NOTIFY TRUDESIGN STUDIO OF ANY CONCERNS WITH PLANT MATERIAL SPECIFIED. OTHERWISE CONTRACTOR / OWNER ASSUMES ALL RESPONSIBILITY IN INSTALLING PLANT MATERIAL INDICATED ON PLANT LIST.
3. LANDSCAPE CONTRACTOR / OWNER SHALL ESTIMATE QUANTITY OF ALL PLANT MATERIALS, SOD AND MULCH. PLANT QUANTITIES ARE ESTIMATES ONLY AND ARE SUBJECT TO FIELD VERIFICATION BY THE LANDSCAPE CONTRACTOR. THE PLANT LIST SHALL OVER RULE THE PLANT LABELS.
4. IF THERE ARE SPECIFIED SHRUBS THAT CANNOT BE LOCATED BY THE CONTRACTOR, THE CONTRACTOR HAS THE OPTION OF SUBSTITUTING ANY OF THOSE SHRUBS THAT CANNOT BE LOCATED, ONLY AFTER THE CONTRACTOR GETS PERMISSION OF SUBSTITUTION FROM TRUDESIGN STUDIO.
5. LANDSCAPE CONTRACTOR RESPONSIBLE FOR LOCATING ALL UTILITIES, ABOVE AND BELOW GROUND, SUCH AS PALMETTO UTILITY PROTECTION SERVICE, PRIOR TO INSTALLATION / CONSTRUCTION
6. ANY EXISTING PLANT MATERIALS OR EXISTING STRUCTURES DAMAGED DURING INSTALLATION OR CONSTRUCTION ARE TO BE REPAIRED OR REPLACED AT CONTRACTORS EXPENSE..
7. ALL CLEARING, AESTHETIC EARTH MOUNDING AND FINAL PLANT LOCATIONS TO BE APPROVED BY TRUDESIGN STUDIO PRIOR TO INSTALLATION.
8. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING A ROOT GROWTH BARRIER IN ALL LOCATIONS WHERE THE PLANT ROOTS MAY COME INTO CONTACT WITH ARCHITECTURAL ELEMENTS SUCH AS FOUNDATIONS, WALLS, SIDEWALKS, POOLS, ETC.
9. ALL PLANTING BEDS TO HAVE 3"-4" DEPTH OF MULCH.
10. TREES LOCATED IN SOD TO HAVE A MULCH RING AROUND THEM (MULCH RING MINIMUM OF 3'-0" IN DIAMETER)
11. ALL SOD LOCATED ON ANY SLOPE TO BE PINNED DOWN IN PLACE TO PREVENT SLIDING.
12. ALL PLANTED AREAS WILL BE PRE-EMERGED TO INHIBIT WEED GERMINATION. CONTRACTOR RESPONSIBLE FOR WEED GROWTH 30 DAYS AFTER INSTALLATION, OR UNTIL SUBSTANTIAL COMPLETION, WHICHEVER IS LATER.
13. HEIGHT OF ANY PLANT MATERIALS WITHIN THE SIGHT TRIANGLE SHALL BE MAINTAINED BY THOSE RESPONSIBLE AS REQUIRED. OWNER SHALL ALSO CONSIDER THE FUTURE MAINTENANCE REQUIREMENTS OF THIS PROJECT TO PREVENT INJURY TO THE PUBLIC.
14. APPLY 8-24-10 FERTILIZER @ 5 LBS. PER 1000 SQUARE FEET.
15. LANDSCAPE CONTRACTOR SHALL REMOVE TREE STAKES AND GUYING AFTER 1 YEAR WARRANTY PERIOD HAS ENDED.
16. THIS LANDSCAPE / ARCHITECTURAL SITE PLAN HAS BEEN REVIEWED AND APPROVED BY THE OWNER / RESPONSIBLE AGENT WHO UNDERSTANDS THAT ANY CHANGES, SUBSTITUTIONS, OR DELETIONS MAY REQUIRE REVIEW AND APPROVAL BY THE RESPONSIBLE REVIEWING AUTHORITY.
17. REFER TO PLANTING DETAILS SHEET OR LANDSCAPE PLAN REGARDING THE INSTALLATION OF PLANT MATERIAL.
18. ALL BEDS TO LAID OUT WITH SPRAY PAINT AND SIGNED OFF BY LANDSCAPE DESIGNER BEFORE BEDS ARE CUT.
19. ALL LANDSCAPE MATERIALS (TREES, SHRUBS, GROUND COVER AND SOD) TO BE IRRIGATED

PLANT LIST						
	ABR.	SCIENTIFIC NAME	COMMON NAME	QUANTITY	GAL.	HT @ INSTALL
TREES / PALMS	CC	CERCIS CANADENSIS 'RISING SUN'	RISING SUN EASTERN RED BUD	2		2" CAL 8'-10" HT
	SR	SERENOA REPENS 'SILVER'	SILVER SAW PALMETTO	45		3' HT
SHRUBS	DR	ROSA 'DRIFT'	DRIFT ROSE	38	7 GAL.	
	DS	DISTYLUM 'BLUE CASCADE'	BLUE CASCADE DISTYLUM	28	7 GAL.	
	GJ	GARDENIA JASMOIDES 'RADICANS'	RADICANS GARDENIA	55	7 GAL.	
	LJF	LIGUSTRUM 'JACK FROST'	JACK FROST LIGUSTRUM	67	3 GAL.	
	TJ	TRACHELOSPERMUM JASMINOIDES	CONFEDERATE JASMINE	17	3 GAL.	
	SOD		BERMUDA 419	1,500 SF		
		DOUBLE HAMMERED HARDWOOD MULCH	BROWN	60 YDS		
		AMENDED SOIL FOR LANDSCAPE BEDS		20 YDS		

LANDSCAPE LEGEND:



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HGTC GEORGETOWN COURTYARD RENOVATION
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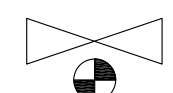



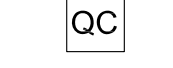
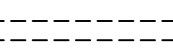
Project Number: H59-NO55-CB
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L101
LANDSCAPE
PLAN

IRRIGATION NOTES:

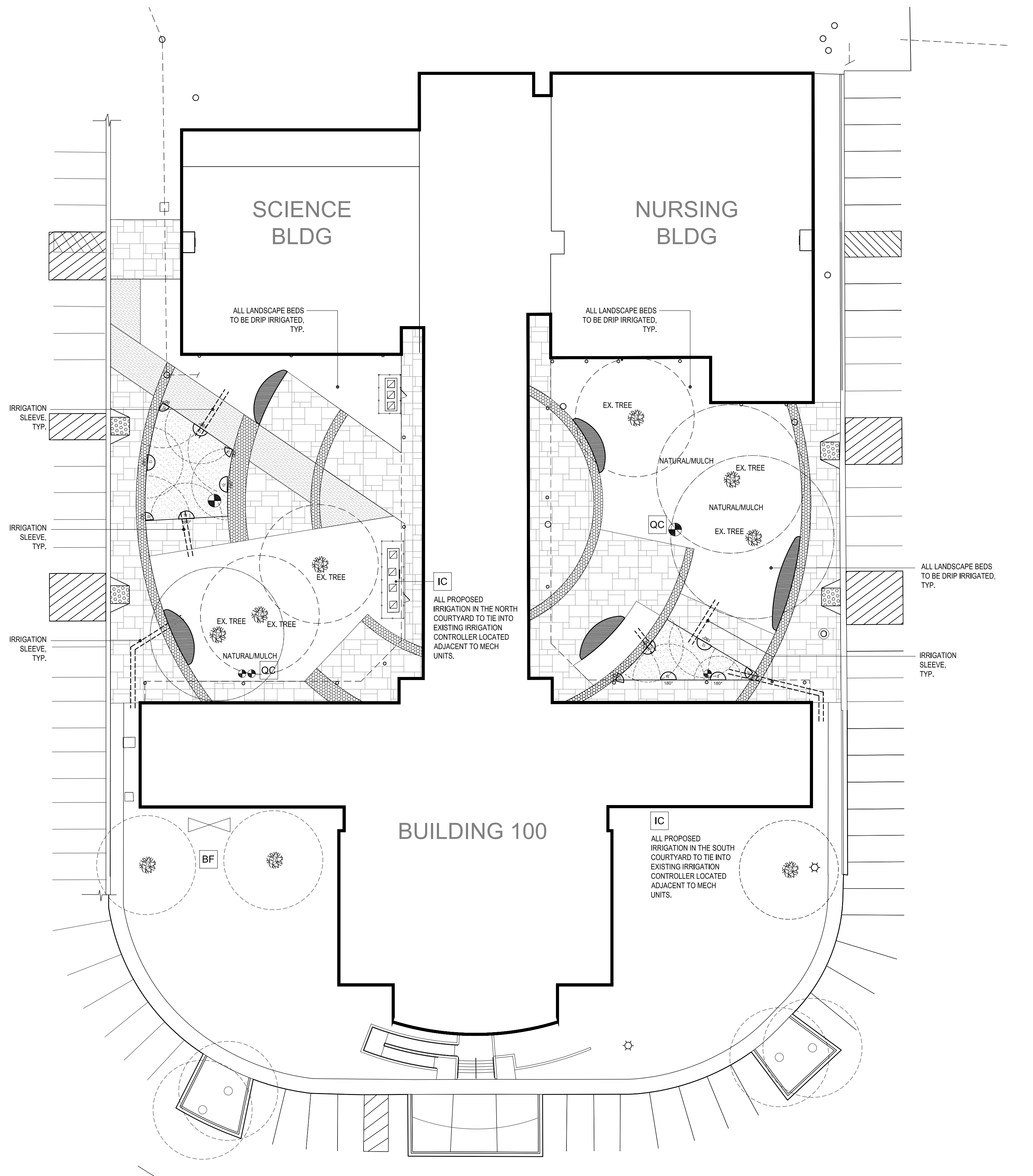
1. IRRIGATION DESIGN IS SCHEMATIC AND ALL LOCATIONS OF PIPE, HEADS, DRIP LINES, SLEEVE LOCATIONS, AND VALVES MAY BE RELOCATED DUE TO EXISTING SITE CONDITIONS AND/OR INSTALLATION CONTRACTOR REQUIREMENTS.
2. PROPOSED IRRIGATION ZONING IS SHOWN AS A GUIDE. ACTUAL ZONES MAY CHANGE DUE TO EXISTING SITE CONDITIONS OR AVAILABLE WATER PRESSURE.
3. ALL VALVE BOXES SHALL SHOULD BE LOCATED AND INSTALLED IN PROPOSED LANDSCAPE PLANTING BEDS. NO VALVE BOXES SHOULD BE INSTALLED IN PROPOSED AREAS DETERMINED TO BE SOD/TURF AREAS.
4. ALL VALVES TO BE INSTALLED IN VALVE BOXES AND MARKED IRRIGATION.
5. ALL NOZZELS SELECTED AS SPRAY HEADS MAY BE ALTERED BY INSTALLATION CONTRACTOR TO PROVIDE THE MAXIMUM COVERAGE, WITHOUT SPRAYING ON WALKS, BUILDINGS, CARS, DRIVES, OR ANY OTHER SITE ELEMENTS NOT INTENDED TO BE IRRIGATED.
6. ALL SLEEVES INSTALLED UNDER PAVED AREAS TO BE AT LEAST TWO PIPES SIZES LARGER THAN PRESSURED PIPE. EXTEND SLEEVES 12" INSIDE CURBS/PAVED AREAS/WALKS.
7. PROVIDE (1) - 4" SDR PVC SLEEVE FOR IRRIGATION IN ALL REQUIRED LOCATIONS, TAPE ENDS.
8. PVC PIPE TO BE SDR-21, MAIN LINE AND EXTEND TO EACH VALVE.
9. LATERAL LINES TO BE SDR-26 AND EXTEND FROM EACH VALVE TO END OF EACH ZONE.
10. ALL WIRE USED FOR IRRIGATION CONTROL VALVES TO BE 14 GAUGE UF UL AND RATED FOR 600 VOLTS AND SPLICED WITH 3M DBY SPLICERS.
11. ALL SLEEVES SHOULD HAVE A 12" MINIMUM AND 18" MAX GROUND COVERAGE FOR ALL SLEEVES, TYPICAL IN ALL SLEEVE LOCATION.
12. LATERAL LINES AS NEEDED TO KEEP VELOCITY BELOW THE REQUIRED 5'-10" PER SECOND.
13. ALL PIPE USED AND WIRED SHALL NOT BE PLACED UNDER PAVED AREAS UNLESS NECESSARY.
14. FINAL LOCATIONS OF CITY MAINTAINED WATER METERS AND CONTROLLERS TO BE FIELD VERIFIED BY LANDSCAPE CONTRACTOR AND CITY OF MYRTLE BEACH.
15. ALL LANDSCAPE, BEDS AND TURF, TO BE COVERED 100% BY IRRIGATION AND NO IRRIGATION WATER TO COME IN CONTACT WITH BUILDINGS, SIGNS, STRUCTURES OR PAVEMENT.
16. A ONE YEAR WARRANTY ON ALL PLANT MATERIAL. TRUDESIGN STUDIO HAS THE FINAL DECISION ON WHAT PLANTS ARE TO BE REPLACED IF THEY ARE WITHIN THE ONE YEAR WARRANTY.
17. GENERAL CONTRACTOR TO COORDINATE POWER REQUIREMENTS FOR IRRIGATION CONTROLLER.
18. GENERAL CONTRACTOR TO PROVIDE SUBMITTAL FOR DESIGN TEAM AND OWNER TO REVIEW.

IRRIGATION LEGEND

-  WATER METER / SUPPLY
-  VALVE
-  BACK FLOW PREVENTER
-  IRRIGATION CONTROLLER
-  QUICK COUPLER
-  IRRIGATION SLEEVE

IRRIGATION NOTES:

SIZE OF NURSERY STOCK	IRRIGATION SCHEDULE FOR VIGOR	IRRIGATION SCHEDULE FOR SURVIVAL
<2" CALIPER	DAILY FOR 2 WEEKS; EVERY OTHER DAY FOR 3 MONTHS; WEEKLY UNTIL ESTABLISHED	TWICE WEEKLY FOR 2-3 MONTHS
2-4" CALIPER	DAILY FOR 1 MONTH; EVERY OTHER DAY FOR 3 MONTHS; WEEKLY UNTIL ESTABLISHED	TWICE WEEKLY FOR 3-4 MONTHS
>4" CALIPER	DAILY FOR 6 WEEKS; EVERY OTHER DAY FOR 3 MONTHS; WEEKLY UNTIL ESTABLISHED	TWICE WEEKLY FOR 4-5 MONTHS



Revision Date Description

Revision Date	Description

HORRY GEORGETOWN
TECHNICAL COLLEGE
HGTC GEORGETOWN
COURTYARD RENOVATION

4003 S Fraser St
Georgetown, SC 29440

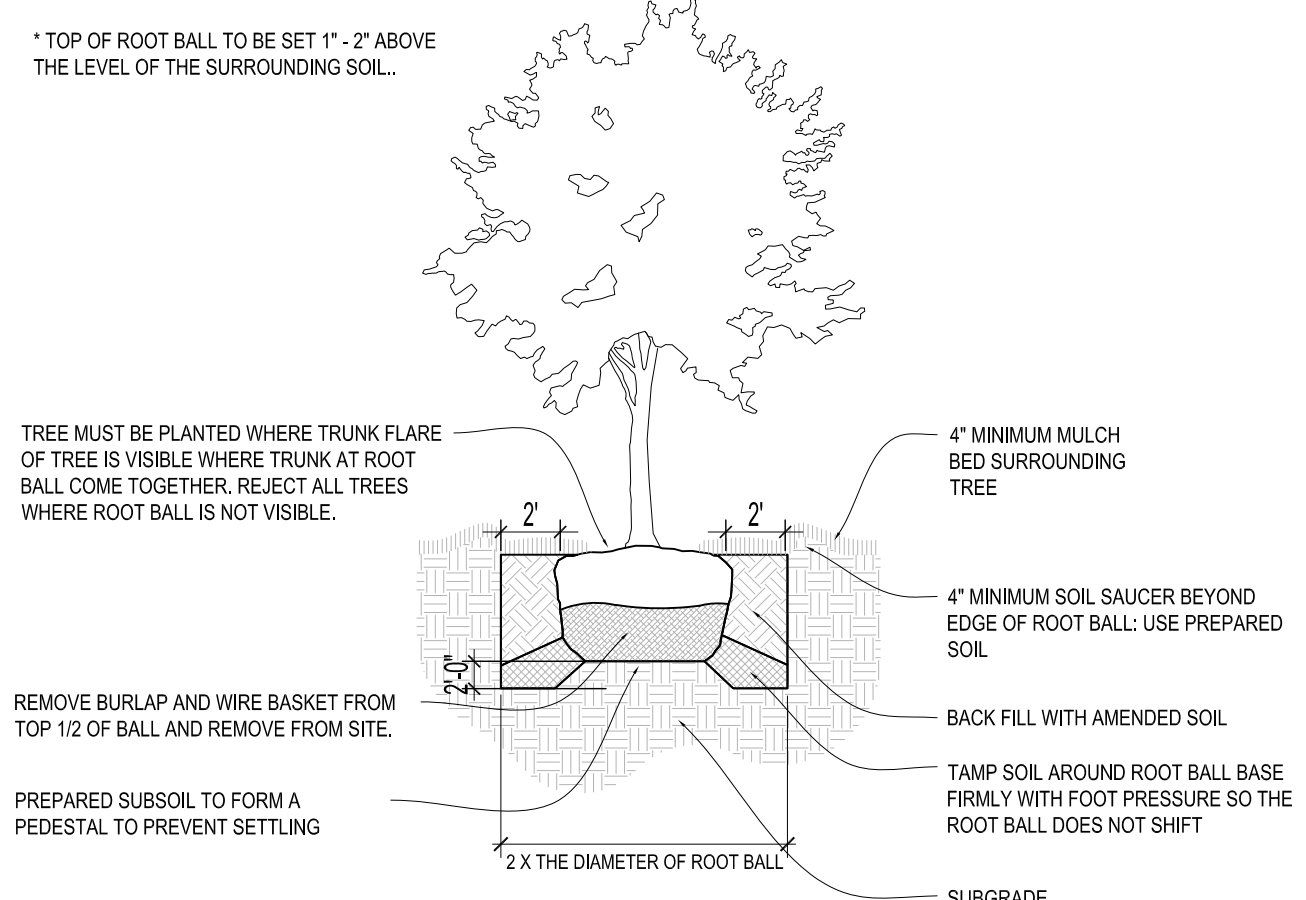
Project Number:	H59-NO55-CB
Checked By:	NRP
Drawn By:	AAP
Date:	08/14/2020
Scale:	As indicated

L102
IRRIGATION
PLAN

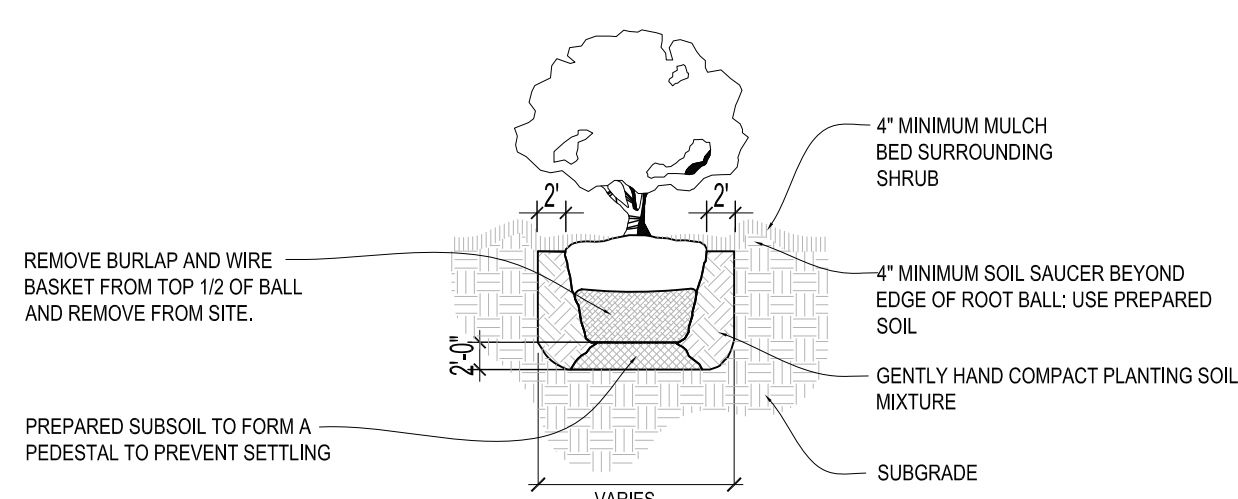
01 IRRIGATION PLAN
L102 SCALE = 1" = 20'-0"

North 

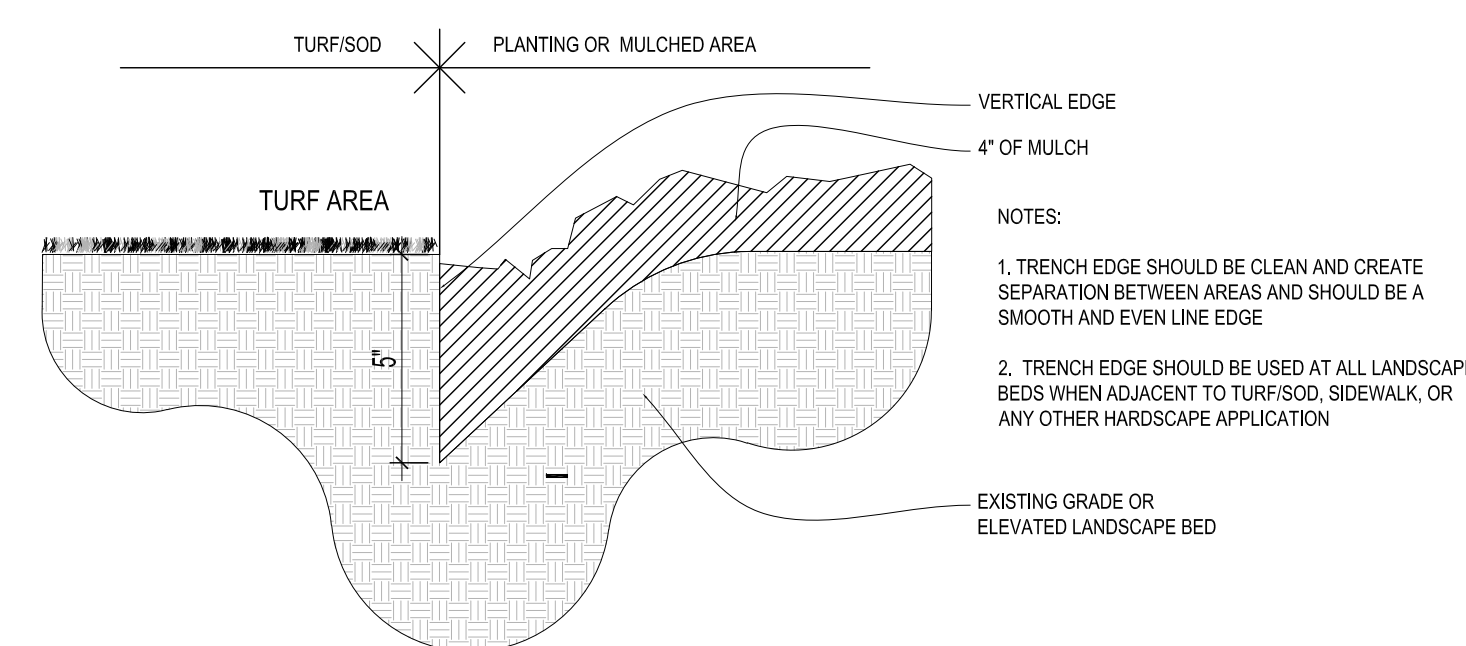
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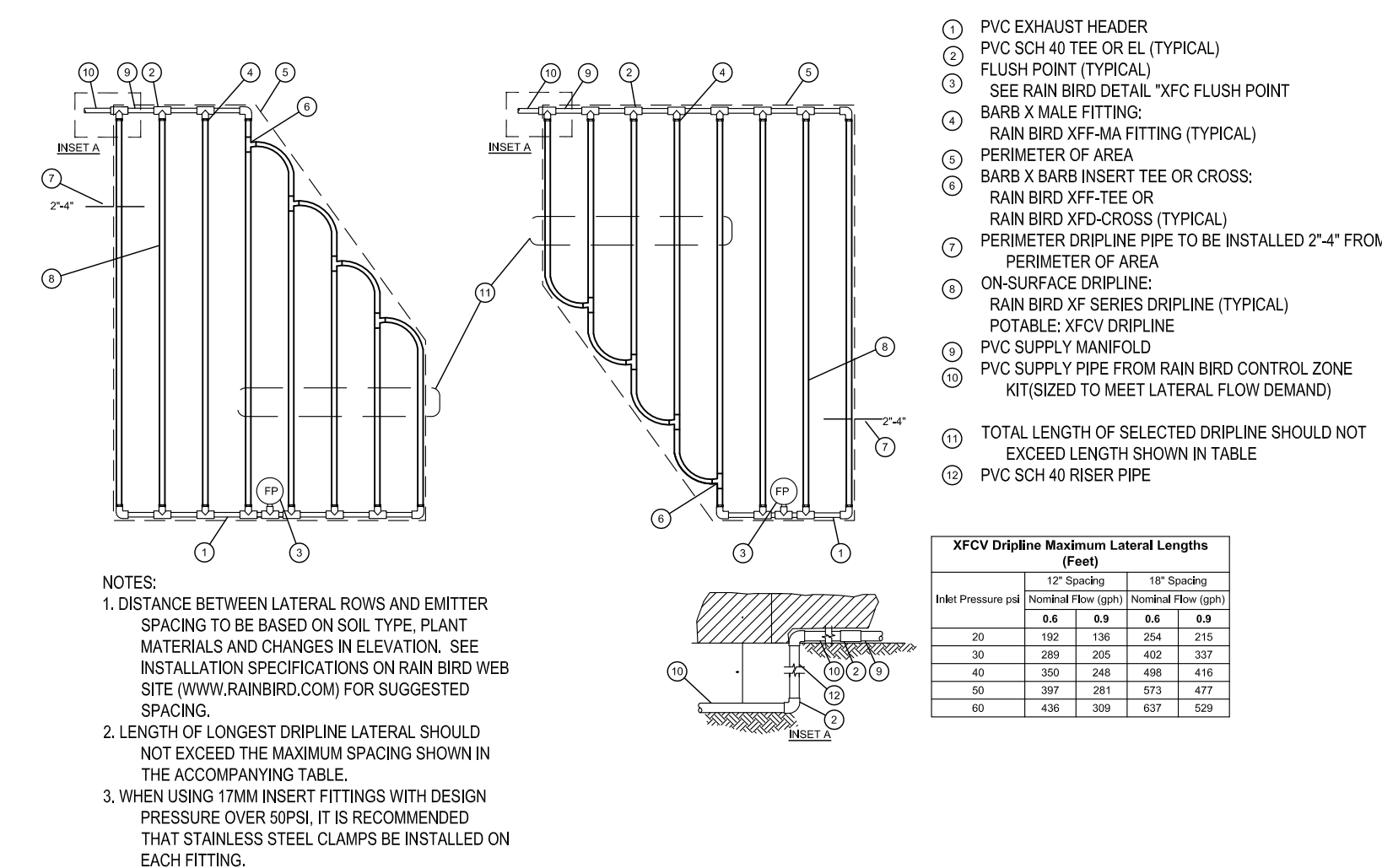
01 TREE PLANTING DETAIL
L103 SCALE = N.T.S.



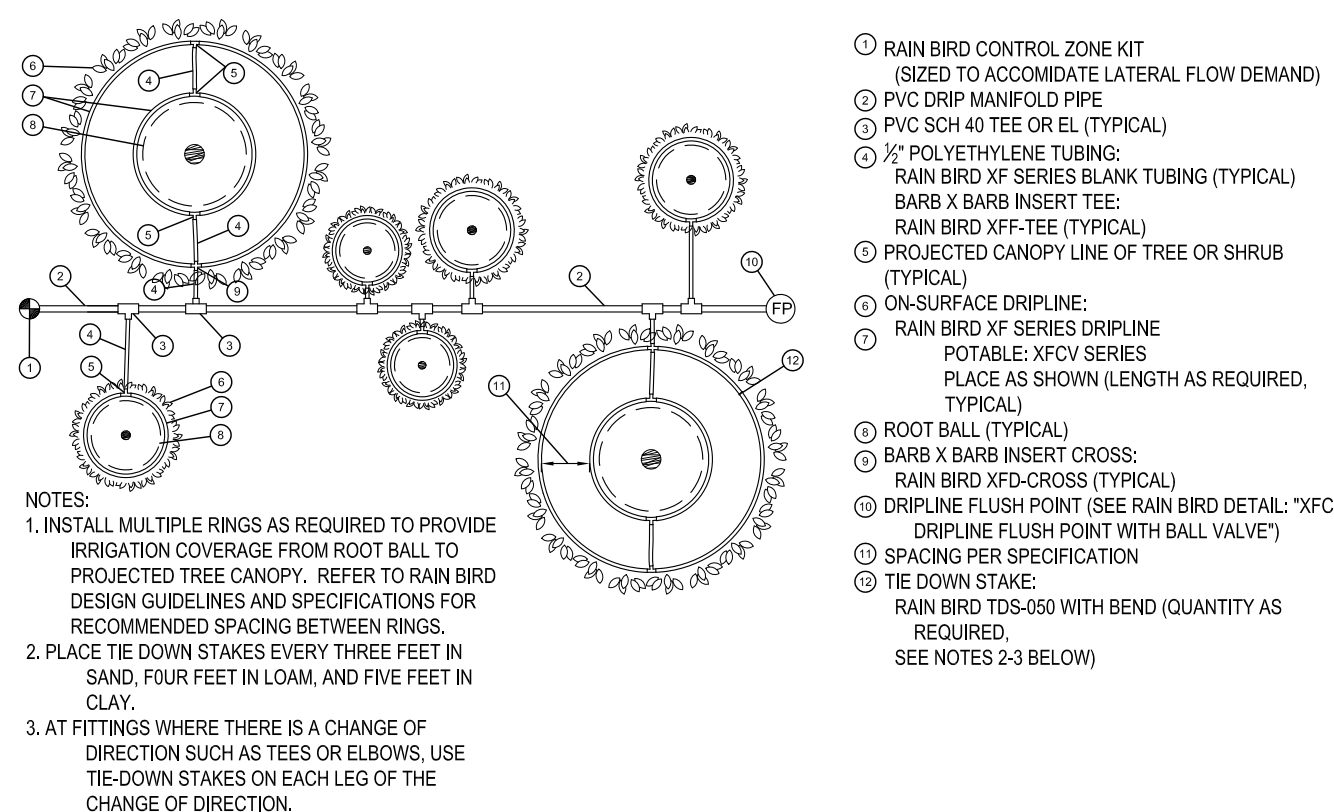
02 SHRUB PLANTING DETAIL
L103 SCALE = N.T.S.



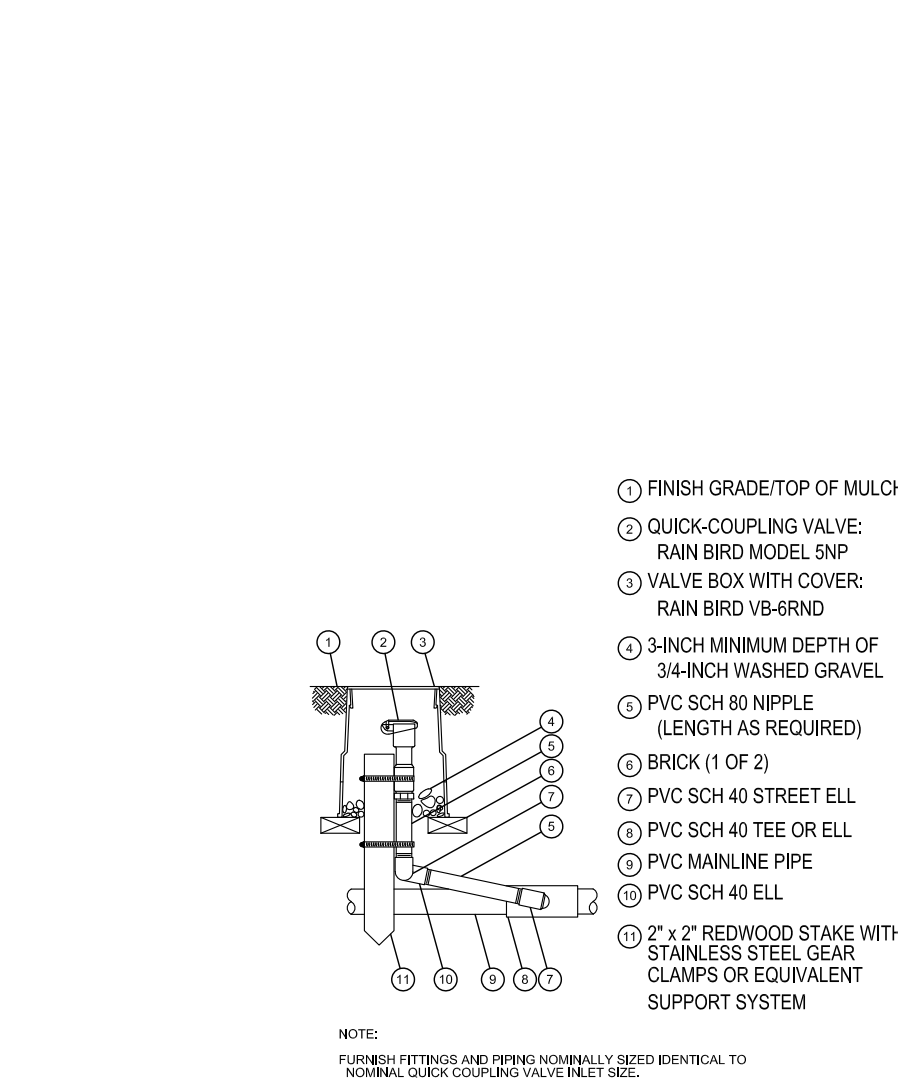
03 SHRUB BED AT SOD - MULCH TRENCH DETAIL
L103 SCALE = N.T.S.



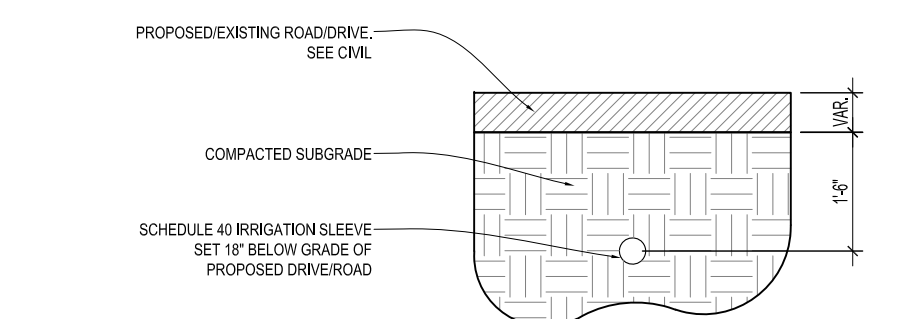
04 XFCV ON-SURFACE DRIPLINE - IRREGULAR BED SHAPE LAYOUT
L103 SCALE = N.T.S.



05 XFCV ON-SURFACE DRIPLINE - MULTIPLE SHRUB TREE DETAIL
L103 SCALE = N.T.S.



07 QUICK COUPLER VALVE
L103 SCALE = N.T.S.



08 IRRIGATION SLEEVE SECTION DETAIL
L103 SCALE = N.T.S.

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HORRY GEORGETOWN
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Georgetown, SC 29440

Project Number:	H59-NO55-CB
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L103
LANDSCAPE /
IRRIGATION
DETAILS